

VILLAGE OF GREAT NECK ESTATES

Zoning Board of Appeals

Agenda

WEDNESDAY

March 27, 2024

8:00pm

Case #

Address

#4-2023

Ashourzadeh

35 Laurel Drive

Extension Request

#9-2023

Abraham

31 North Clover Dr

**Variances to construct an entry
portico, new paver patio, deck and
enlarged driveway**

BOARD OF (APPEALS) (TRUSTEES)

-----X
IN THE MATTER OF THE APPLICATION OF

APPLICATION

to the Board of (Appeals) (Trustees)
of the Village of Great Neck Estates.
-----X

1. Name of applicant: ROBERT FARRACH
2. Applicant's address: 199 C WEST SHORE ROAD,
GREAT NECK, NY 11029
3. If the applicant is not an owner of the property which is the
subject of this application, state the relationship of the
applicant to the owner(s):
ARCHITECT
4. The property which is the subject of this application is
located at: 31 NORTH CLOVER DRIVE, Great Neck
Estates, N. Y. and is also known as Section 2, Block 2524
Lot(s) 175 on the Nassau County Land and Tax Map.
5. The full name and residence address of all owners of the
property (if applicant is not the sole owner) is:
MR. & MRS. LOUISE ABRHAM
31 NORTH CLOVER DRIVE
GREAT NECK, NY 11021
6. The property is located in the Res B zoning district of the
Village of Great Neck Estates.

7. The subject property is located on the ~~North~~ side of
NORTH CLOVER DRIVE (street).
8. The date on which the owner(s) acquired the property was
12/31/21.
9. The approximate dimensions of the property are 102.42/115 feet
120.43/114.43 by 120.43/114.43 feet, and the total acreage of property is 0.29
acres.
10. The property is presently used for SINGLE - FAMILY
RESIDENCE.
11. Are there existing buildings on the property? YES If so,
of what type of construction WOOD FRAME
12. The present assessed valuation of the property is:
Land \$609,500 Building(s) \$1,513,975
13. Are there any outstanding village taxes on the property?
No If so, for what years? _____
14. The applicant or owner(s) wish to make use of the property
for the purpose of: SINGLE - FAMILY RESIDENCE
15. The Building Department of the Village of Great Neck Estates
denied an application for said proposed use on N/A
16. The proposed use of the property violates the following
sections of the Village Code: N/A

17. This is an application for:

_____ an appeal

☒ ~~a~~ variance

_____ a special permit

_____ other(describe): _____

18. The following sections of the Village Code provide that the Board of (Appeals) (Trustees) has authority to grant the relief requested in this application: 230-67

19. Description of the problem, or reasons for this application, which constitute practical difficulty or unnecessary hardship which justifies the relief sought in this application:

(Note to Applicant - this information is particularly important, and must constitute a complete statement of the grounds for the relief which you are seeking. You may use additional sheets of paper if necessary to provide a complete response)

THE OWNER HAS A LARGE FAMILY AND OWNS MULTIPLE VEHICLES. AS A RESULT, THEY SEEK A DECK, PATIO & DRIVEWAY WHICH EXCEED THE REAR YARD SETBACK & MAXIMUM PERMITTED IMPERVIOUS SURFACE COVERAGE.

20. Has any previous application been made to the Board of (Appeals) (Trustees) for the relief sought in this application, or relief similar to that sought in this application? NO If so, attach a description of each such prior application, including the date the application was

made, the date of the determination by the Board of (Appeals) (Trustees), and a summary of the determination by the Board of (Appeals) (Trustees).

21. Has any previous application been made to the Board of (Appeals) (Trustees) for any other relief with respect to the property which is the subject of this application? NO

If so, attach a description of each such prior application, including the date the application was made, the date of the determination by the Board of (Appeals) (Trustees), and a summary of the determination of the Board of (Appeals) (Trustees).

22. Are there any outstanding violation notices affecting the subject premises? NO

23. Are there any pending court proceedings involving the subject premises? NO

24. The undersigned applicant states under penalty of perjury that the foregoing statements and information, and all statements and information contained in papers submitted herewith, are true.

Name of applicant: Robert E. Brown

Signature of applicant: [Signature]

Title of signatory: ARCHITECT

Date: 11.28.23

BOARD OF (APPEALS) (TRUSTEES)
VILLAGE OF GREAT NECK ESTATES

-----X

In the Matter of the Application of

DISCLOSURE

AFFIDAVIT

General Municipal Law
Section 809

-----X

STATE OF NEW YORK)

ss:

COUNTY OF NASSAU)

Robert French, being duly sworn, deposes and says:

1. I am the (applicant with respect to) (owner of the premise which are the subject of) the attached application.
2. I make this affidavit for the purposes of complying with the requirements of General Municipal Law Section 809.
3. No officer of the State of New York, and no officer or employee of the County of Nassau, the Town of North Hempstead or the Village of Great Neck Estates, and no party officer of any political party, has an interest in the attached application within the meaning of General Municipal Law Section 809, except as stated hereinafter **(if none, state "NONE" below):**

<u>Name</u>	<u>Address</u>	<u>Position</u>	<u>Nature of Interest</u>
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Robert French
Signature

Sworn to before me this 30th
day of November 2023

Linda A. Kropacek
Notary Public

LINDA A. KROPACEK
Notary Public, State of New York
No. 01KR6187256
Qualified in Nassau County
Commission Expires May 19, 2024

BOARD OF (APPEALS) (TRUSTEES)
VILLAGE OF GREAT NECK ESTATES

-----X

In the Matter of the Application of

DISCLOSURE
AFFIDAVIT

General Municipal Law
Section 809

-----X

STATE OF NEW YORK)

ss:

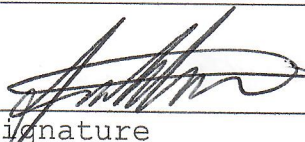
COUNTY OF NASSAU)

Shalom Isaac Abraham, being duly sworn, deposes and says:

1. I am the (applicant with respect to) owner of the premise which are the subject of) the attached application.
2. I make this affidavit for the purposes of complying with the requirements of General Municipal Law Section 809.
3. No officer of the State of New York, and no officer or employee of the County of Nassau, the Town of North Hempstead or the Village of Great Neck Estates, and no party officer of any political party, has an interest in the attached application within the meaning of General Municipal Law Section 809, except as stated hereinafter **(if none, state "NONE" below)**:

<u>Name</u>	<u>Address</u>	<u>Position</u>	<u>Nature of Interest</u>
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None


Signature

Sworn to before me this 5th
day of December 2023.

Notary Public

ALBERT TAHALOV
Notary Public, State Of New York
No. 01TA6067093
Qualified in Queens County
Commission Expires Dec. 3, 2025

AFFIDAVIT OF PROPERTY OWNER/AUTHORIZATION

All Owners must sign either as owner or applicant

State of New York)

SS:

County of Nassau)

(I)(We), SHALOM
BOAZ ABRAHAM being duly sworn, state:

Complete Items #1, 2 or 3 as applicable, then Item #4

(1) (I am) (We are) the owner(s) of the property described in this application known as
31 NORTH CLOVER DRIVE, and described on the Nassau County
Land and Tax Map as Section 2, Block 354, Lot(s) 75.

☒ If the applicant is a corporation, the deponent is an officer thereof, to wit the
_____, and is authorized by the Board of Directors of the
corporation to execute this application on behalf of the corporation.

☒ If the applicant is a partnership, the deponent, _____ is a
general partner thereof, and has authority to execute this application in the name of
the partnership.

(4) (I) (We) hereby authorize ROBERT BARBACH to submit
this application.

[Signature]
Signature of Owner

Elite Abraham
Signature of Owner

Sworn to before me this 5th day
of December 20 23.

[Signature]
Notary Public

ALBERT TAHALOV
Notary Public, State Of New York
No. 01TA6067093
Qualified in Queens County
Commission Expires Dec. 3, 2025

ALL STATEMENTS CONTAINED IN THIS APPLICATION ARE TRUE
TO THE BEST OF MY KNOWLEDGE AND BELIEF

Signature of Applicant

Sworn to before me this _____ day
of _____ 20 ____.

Notary Public

FALSE STATEMENTS MADE HEREIN ARE PUNISHABLE AS A CLASS 'A' MISDEMEANOR
PURSUANT TO SECTION 210.45 OF THE PENAL LAW OF THE STATE OF NEW YORK

- 1- TO THE BEST OF ROBERT EBRABCHI'S KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, SUCH PLANS ARE IN COMPLIANCE WITH THE 2020 NYC STATE RESIDENTIAL CODE, THE 2015 WOOD FRAME CONSTRUCTION MANUAL (WFCM 2015), NFPA 70 STANDARD, NATIONAL ELECTRIC CODE CODE, 2020 NYC STATE ENERGY CONSERVATION CODE, AND THE LOCAL ZONING CODE
- 2- THESE CONSTRUCTION DOCUMENTS ARE PREPARED FOR THE PROJECT ADDRESS LISTED ON THE DRAWINGS AND ARE NOT TO BE USED AT A DIFFERENT LOCATION WITHOUT WRITTEN CONSENT OF THE ARCHITECT. UNAUTHORIZED USE WILL ALSO BE SUBJECT TO THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990.
- 3- NO WORK IS TO COMMENCE UNTIL A PERMIT HAS BEEN OBTAINED FROM THE BUILDING DEPARTMENT.
- 4- CONTRACTOR TO VERIFY EXISTING CONDITIONS AT JOB SITE BEFORE COMMENCING WITH THE WORK OR ORDERING MATERIALS AND TO REPORT ANY DISCREPANCIES IN WRITING TO THE ARCHITECT BEFORE PROCEEDING FORWARD.
- 5- DRAWINGS ARE NOT TO BE SCALED, USE DIMENSIONS ONLY. LARGE SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALES. DIMENSIONS NOTED ARE MEASURED FROM FINISHED SURFACES. PROVIDE EXACT DIMENSION CLEAR SHOWN WHEN "HOLD" IS INDICATED.
- 6- THE CONTRACTOR SHALL NOT MAKE DEVIATIONS FROM DESIGN DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT. ARCHITECT SHALL NOT BE REQUIRED TO APPROVE UNAUTHORIZED STRUCTURAL AND OR SPATIAL CHANGES.
- 7- IT IS THE RESPONSIBILITY OF THE LOCAL MUNICIPALITY TO PROVIDE BUILDING INSPECTIONS AT PROGRESSIVE STAGES OF CONSTRUCTION. IT SHALL BE CONSTRUED THAT ONCE THE FINAL INSPECTION IS COMPLETED, THE PROJECT IS IN COMPLETE CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS PREPARED BY THE ARCHITECT.
- 8- THE WORK NOTED HEREIN IS NOT TO BE USED FOR ANY OF ITS FORMS HEREIN FOR OR ACCOMPANYING DOCUMENTS RELATING TO THIS PROJECT CREATED BY THE ARCHITECT. IT IS AN EXPRESSION OF PROFESSIONAL OPINION ONLY AND SHALL NOT BE CONSTRUED OR UNDERSTOOD TO BE A STATEMENT OF FACT, A WARRANTY, OR A GUARANTEE OF ANY KIND, EXPRESSED OR IMPLIED.
- 9- SHOP DRAWINGS MUST CONFORM TO THE ARCHITECTURAL DRAWINGS AND BE APPROVED BY ARCHITECT FOR COMPLIANCE WITH DESIGN INTENT.
- 10- PROVIDED WORK IS BASED ON SURVEY PREPARED BY LICENSED SURVEYOR AND SUPPLIED BY OWNER. ARCHITECT IS NOT RESPONSIBLE FOR SURVEY ERRORS. OWNER OR CONTRACTOR IS TO HIRE SURVEYOR TO STAKE OUT WORK IF NECESSARY.
- 11- THE CONSTRUCTION OF BUILDINGS AND STRUCTURES SHALL RESULT IN A SYSTEM THAT PROVIDES A COMPLETE LOAD PATH CAPABLE OF TRANSFERRING ALL LOADS FROM THEIR POINT OF ORIGIN THROUGH THE LOAD-RESISTING ELEMENTS TO THE FOUNDATION. CONTRACTOR TO INSPECT THE EXISTING FRAMING FOR STRUCTURAL INTEGRITY.
- 12- **R303.1 HABITABLE ROOM LIGHT AND VENTILATION**— ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA NOT LESS THAN 8% OF THE FLOOR AREA. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED.
- 13- **R305.1 MINIMUM CEILING HEIGHT**— HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-0". THE REQUIRED HEIGHT SHALL BE MEASURED FROM THE FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING. BEAMS AND GIRDERS SPACED NOT MORE THAN 4' SHALL NOT INTERFERE WITH OR PROJECT NOT MORE THAN 6" BELOW THE REQUIRED CEILING. CEILING IN BASEMENTS WITHOUT HABITABLE SPACES MAY PROJECT UP TO WITHIN 6" OF THE FINISHED FLOOR. FOR ROOMS WITH SLOPED CEILING, AT LEAST 50% OF THE REQUIRED FLOOR AREA MUST HAVE A 7' CEILING AND NO PORTION OF THE REQUIRED FLOOR AREA MAY HAVE A CEILING HEIGHT LESS THAN 5'.
- 14- **R308.1 GLAZING IDENTIFICATION**— EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED IN SECTION R308.4 SHALL BE PROVIDED WITH A MANUFACTURER'S OR INSTALLER'S LABEL, DESIGNATING TYPE AND THICKNESS OF GLASS AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES, WHICH IS TO BE IN THE FIELD. UPON INSPECTION.
- 15- **R301.1 EMERGENCY ESCAPE AND RESCUE OPENINGS**— BASEMENTS WITH HABITABLE SPACE AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE EMERGENCY ESCAPE AND RESCUE OPENING WITH A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR. MINIMUM NET CLEAR OPENING AREA OF 5.7 SQ FT, GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQ FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM BOTH THE INTERIOR AND EXTERIOR. USE OF KICKS OR TOES.
- 16- **R311.7.2 STAIR TREADS AND RISERS**— THE MAXIMUM RISER HEIGHT SHALL BE 8" AND THE MINIMUM TREAD DEPTH SHALL BE 9". THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE.
- 17- **R311.7.3 HEADROOM**— THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OF FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM.
- 18- **R311.7.8 HANDRAILS**— HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH 4 OR MORE RISERS. HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSINGS, SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38". ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS FROM A POINT DIRECTLY ABOVE THE TOP RISER OF A FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE REINFORCED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY BERRANDS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE HANDRAIL AND THE WALL.
- 19- **R311.7.8.3 HANDRAIL GRIP SIZE**— HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6 3/4" WITH A MAXIMUM CROSS SECTION DIMENSION OF 2 1/2".
- 20- **R312.1 GUARDS REQUIRED**— PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.
- 21- **R312.1.3 GUARD OPENING LIMITATIONS**— REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4" OR MORE IN DIAMETER. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6" CANNOT PASS THROUGH.
- 22- **R314.1 SMOKE ALARMS**— SHALL BE INSTALLED ON EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE ENTRANCE TO EACH ADDITIONAL SLEEPING AREA OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN 1 FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT, EACH UNIT MUST PROVIDE SMOKE ALARMS THAT HAVE THE CAPABILITY TO BE INSTALLED IN A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

THE ARCHITECT WILL HAVE NEITHER CONTROL OVER, CHARGE OF, NOR BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR QUALITY OF WORK, NOR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK PERFORMED. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR THE DESIGN OR PERFORMANCE TO BE PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION AND CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY OMISSIONS, ERRORS, OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS OR ENTITIES PERFORMING PORTIONS OF THE WORK. THIS PLAN IS APPROVED ONLY FOR THE WORK INDICATED ON THE DRAWINGS. NO PART OF THESE EXISTING CONDITIONS REFLECTED HEREIN ARE NOT TO BE RELIED UPON AS A BASIS FOR ANY CLAIMS AGAINST THE ARCHITECT. THE ARCHITECT'S LIABILITY UNDER THIS AGREEMENT IS LIMITED TO THE SOLE PROPERTY OF ROBERT BARBACH, ARCHITECT, AND SHALL NOT BE ALTERED IN ANY WAY WITHOUT WRITTEN PERMISSION BY SAME. UNAUTHORIZED ALTERATION TO THESE PLANS IS A VIOLATION OF NEW YORK STATE EDUCATION LAW § 1601(2)(c). COPIES OF THESE PLANS NOT BEARING THE INKED SEAL SHALL NOT BE CONSIDERED TO BE LEGAL, VALID, OR TRUE.

VARIANCES REQUIRED	PERMITTED	PROPOSED	VARIANCE
LOT COVERAGE	25% / 746 SF	44% / 4,579 F	19% / 3,833 SF
FRONT YARD COVERAGE	17% / 2,044 SF	44% / 1,316 SF	27% / 570 SF
PORTICO**	5' X 9'	6' X 12'	1' X 3'
DECK - REAR YARD SETBACK*	34.5'	31'	3.5'

*REAR YARD SETBACK = $30 + (117.43 - 100 = 17.43 \times 25 = 4.5) = 34.5'$

Project
Abraham Residence
31 North Clover Drive
Great Neck, NY 11021

Architect.
Barbach & Associates
199C West Shore Road
Great Neck, NY 11024
(516) 466-2674

EST

REVISIONS 9.15.23
 REVISIONS 11.21.22
 REVISIONS 11.14.22
 REVISIONS 12.22.22
 REVISIONS 7.18.22
 REVISIONS 05/22/20
 COMMENTS 4.1.22
 REVISIONS 4.2.22

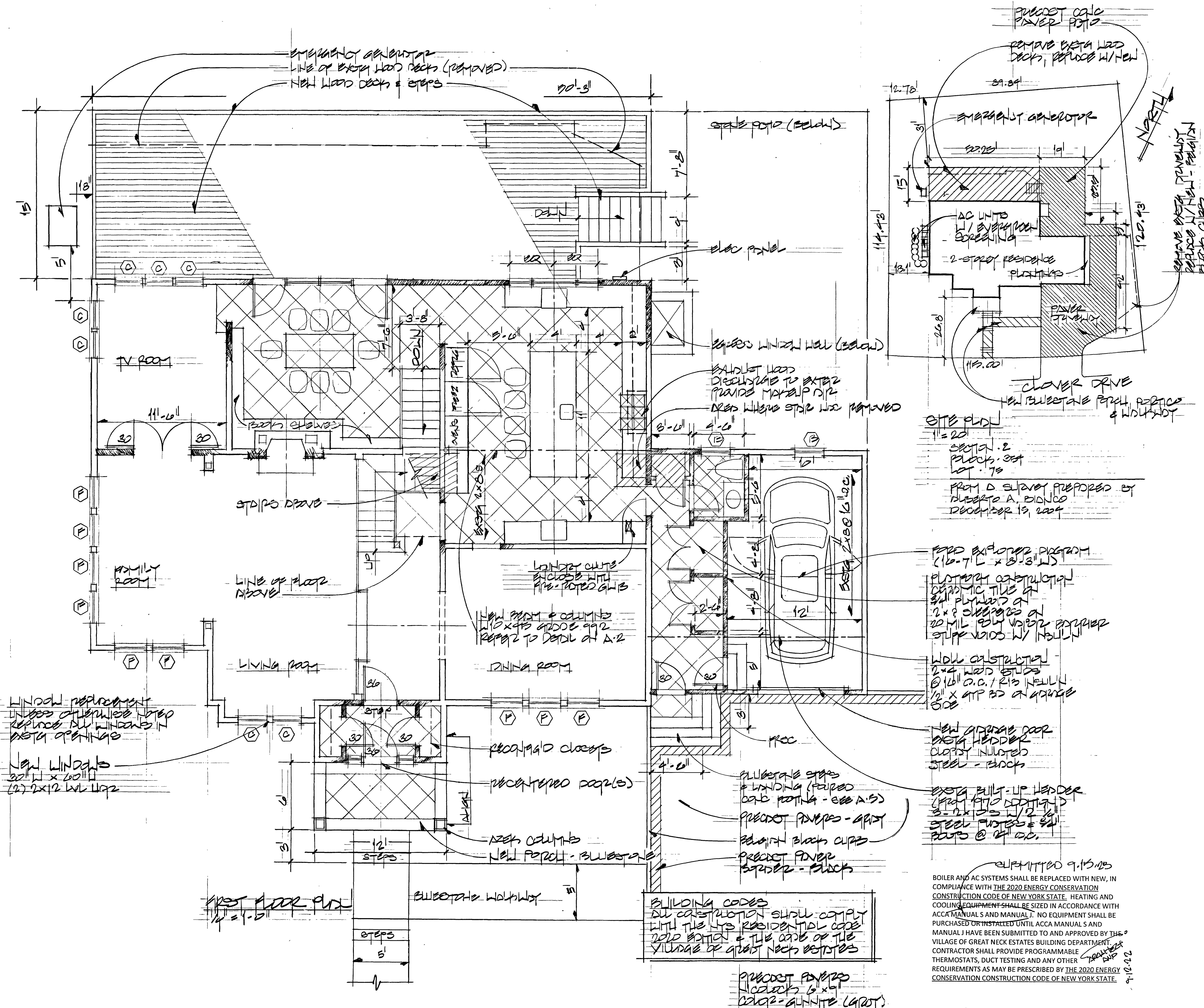
2/10/2017

A. I. 9

SITE PLAN & ONLY 15-2
 SECTION 2
 BLOCK 354
 LOT 75
 15-2-2000

ALL CONSTRUCTION SHALL
COMPLY WITH THE 2020
NYS PRESIDENTIAL CODE
& THE CODE OF THE
VILLAGE OF GREAT NECK
ZONING

701N76// OLC/B 2 A-9



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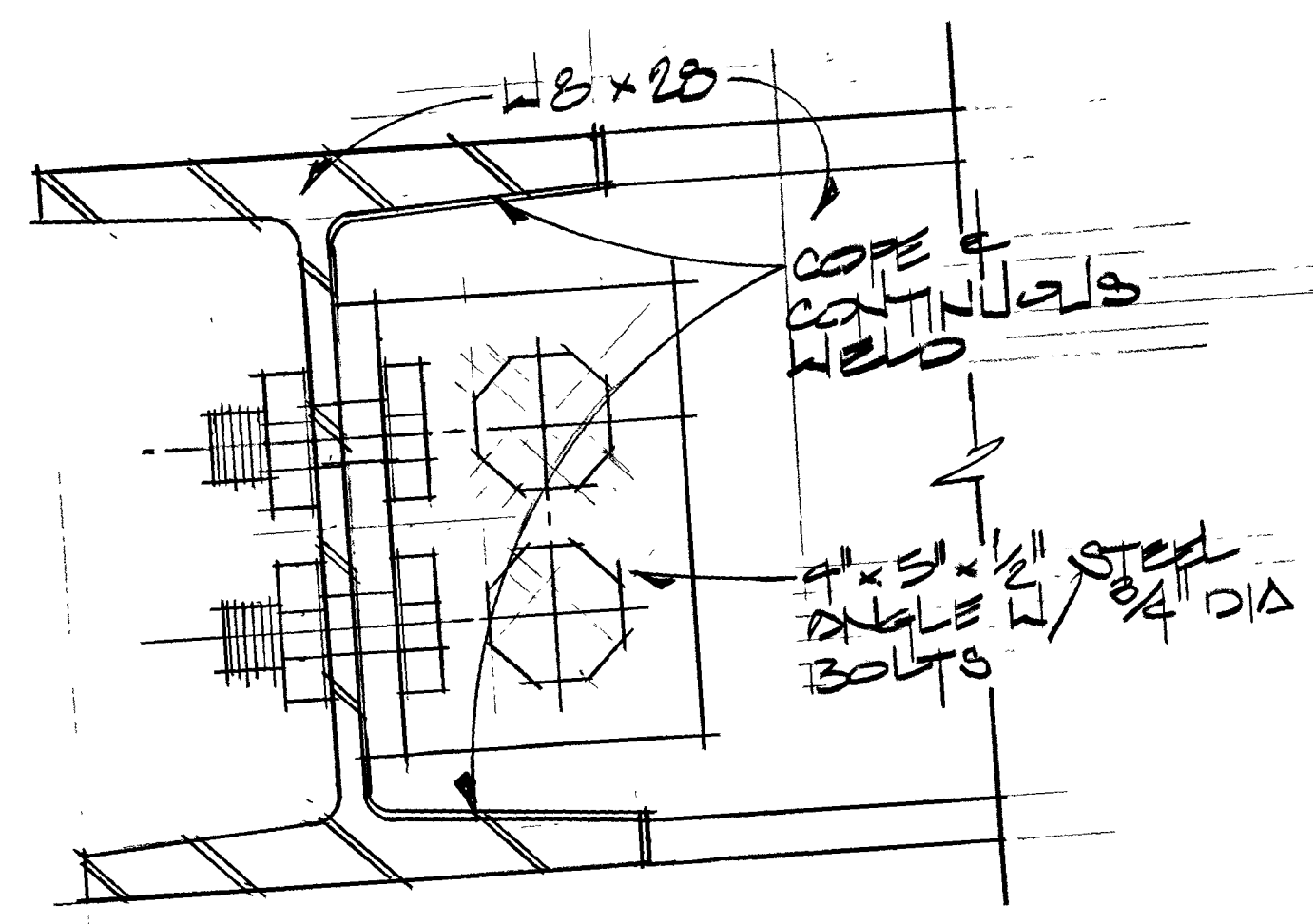
NO IMPROVEMENTS
DECK & DECKING
ADDENDUM REFER
TO DRAWING D-9

REVISIONS
9.15.23
REVISIONS 11.21.22
REVISED 7.15.22
REVISED FOR 20
COMMENTS 4.4.22
PREPARED 4.15.22
BY INTERIOR DESIGN
PERMIT PREPARED 2.7.22
PREPARED 1.25.22
PREPARED 1.14.22
FINAL 1.17.22

FIRST FLOOR
PLAN SITE
PLAN

A.2
OF 9

9.15.23
BOILER AND AC SYSTEMS SHALL BE REPLACED WITH NEW, IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S AND MANUAL J. NO EQUIPMENT SHALL BE PURCHASED OR INSTALLED UNTIL ACCA MANUAL S AND MANUAL J HAVE BEEN SUBMITTED TO AND APPROVED BY THE VILLAGE OF GREAT NECK ESTATES BUILDING DEPARTMENT. CONTRACTOR SHALL PROVIDE PROGRAMMABLE THERMOSTATS, DUCT TESTING AND ANY OTHER REQUIREMENTS AS MAY BE PRESCRIBED BY THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.



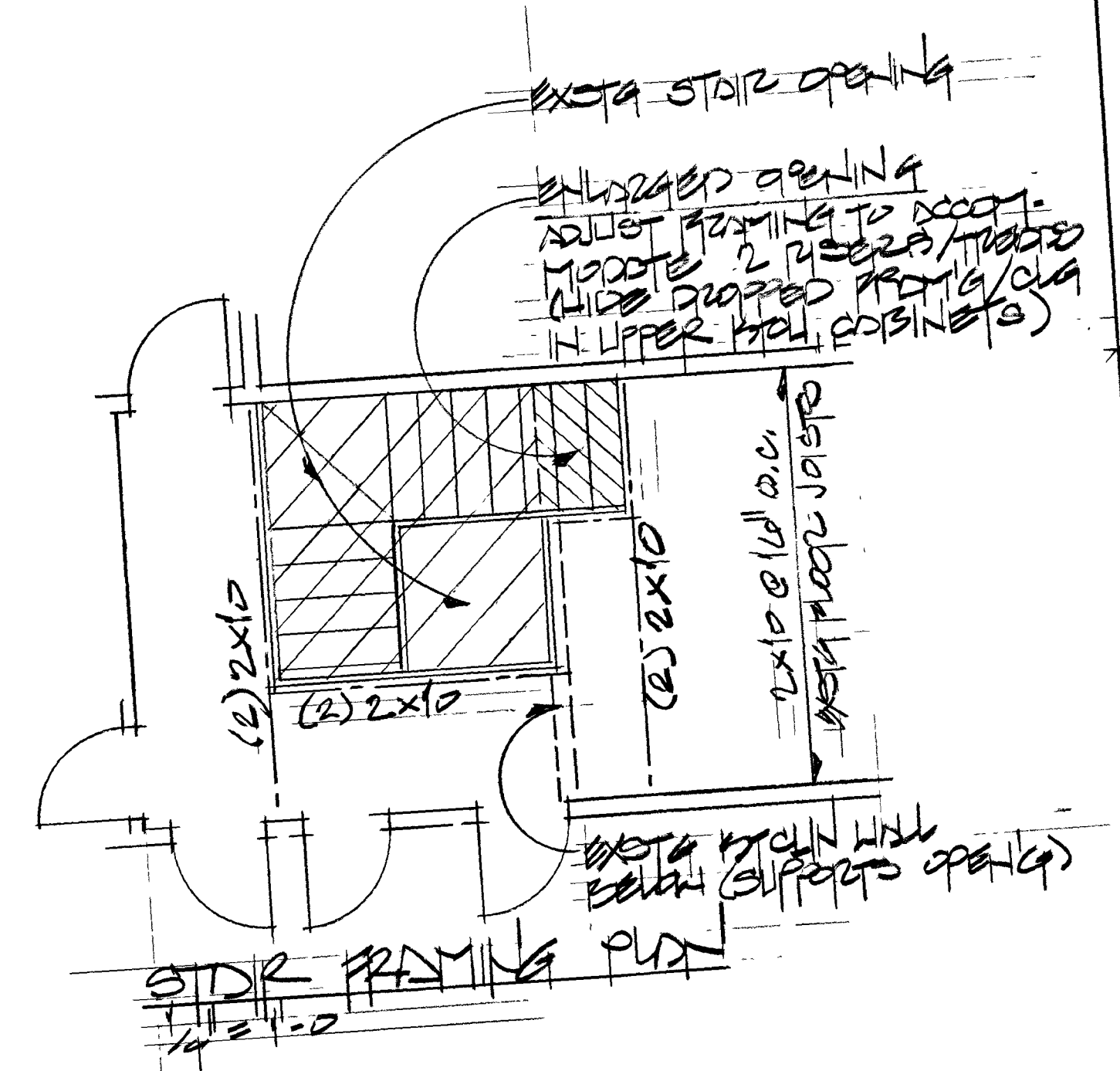
BEAM-TO-COLUMN DETAIL
1/2" = 1'-0"

WINDOW SCHEDULE

MARK	TYPE/MODEL	FUNCTION	DIMENSIONS	U-FACTOR	SHGC	REMARKS
A	ANDERSEN 400	CASEMENT	2'0" x 2'0"	0.29	0.29	OUTSIDE
B	ANDERSEN 400	CASEMENT	2'0" x 4'	0.29	0.29	
C	ANDERSEN 400	CASEMENT	2'0" x 3'	0.29	0.29	EDY
D	ANDERSEN 400	CASEMENT	2'0" x 4'	0.29	0.29	
E	ANDERSEN 400	CASEMENT	2'3" x 3'	0.29	0.29	
F	ANDERSEN 400	CASEMENT	2'10" x 3'	0.29	0.29	KITCHEN
G	ANDERSEN 400	CASEMENT	3' x 3'	0.29	0.29	CLOSET
H	ANDERSEN 400	CASEMENT	FIXED	0.29	0.29	EDY
J	ANDERSEN 400	FIXED	3'-4" x 4'	0.29	0.29	

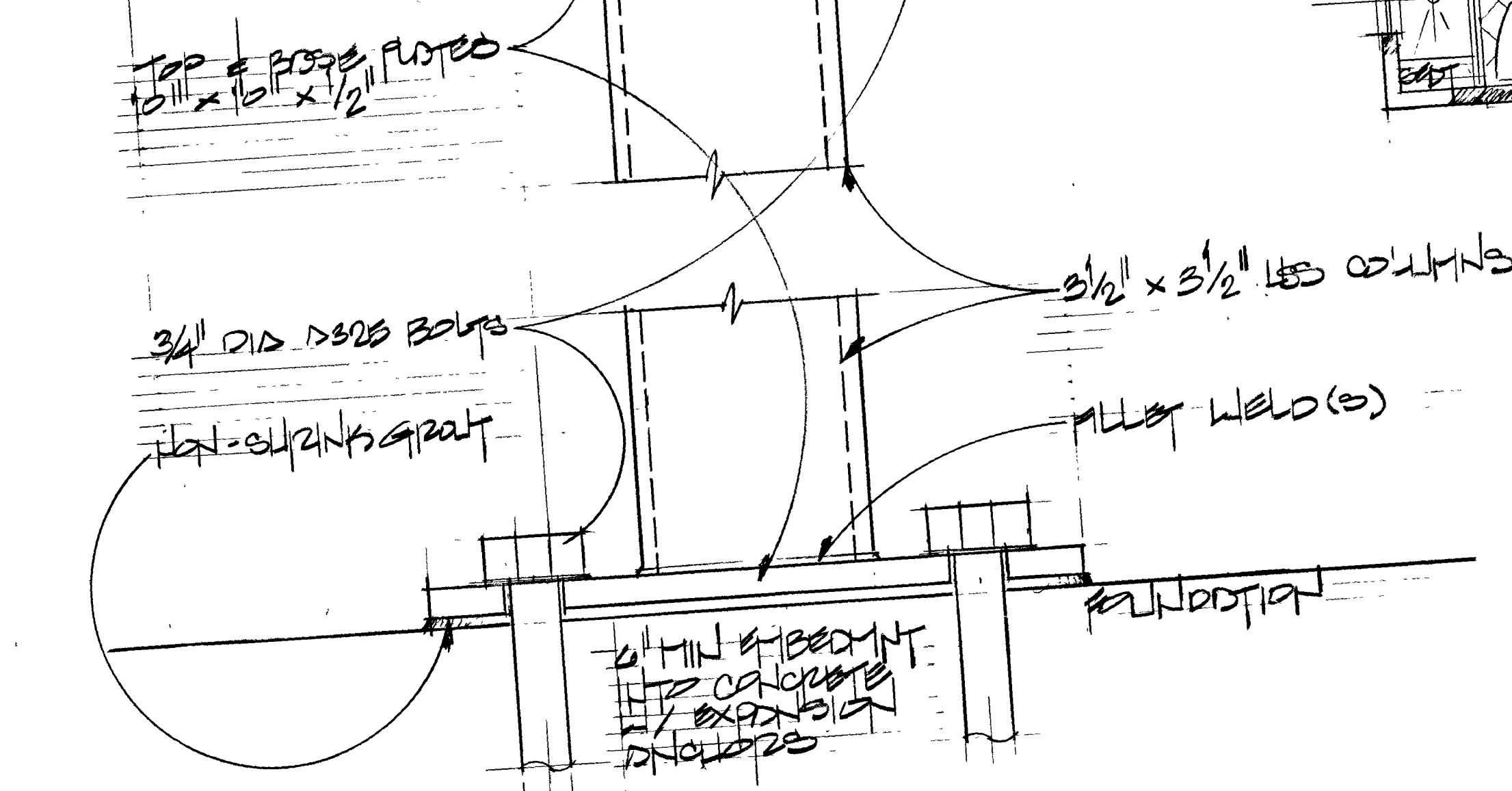
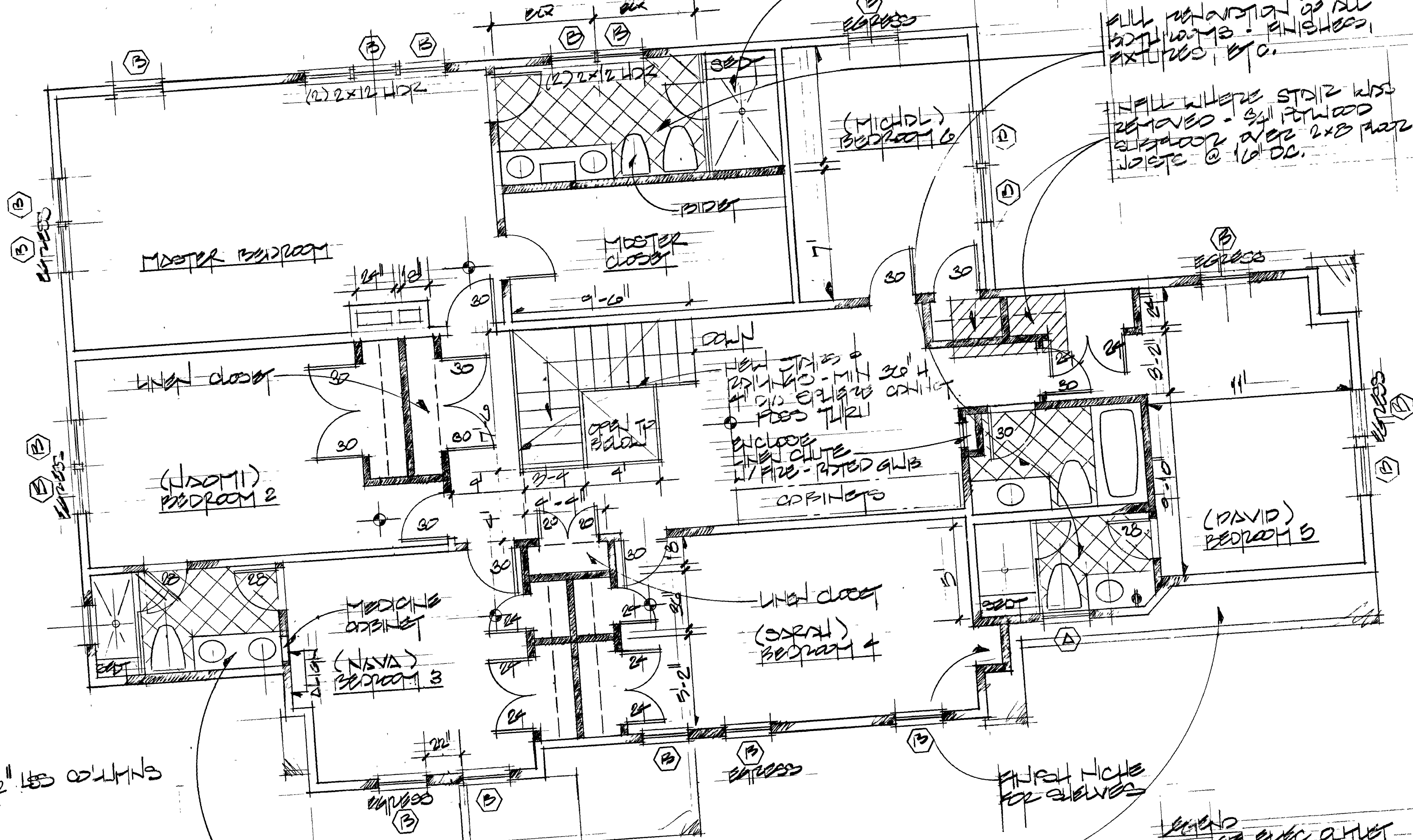
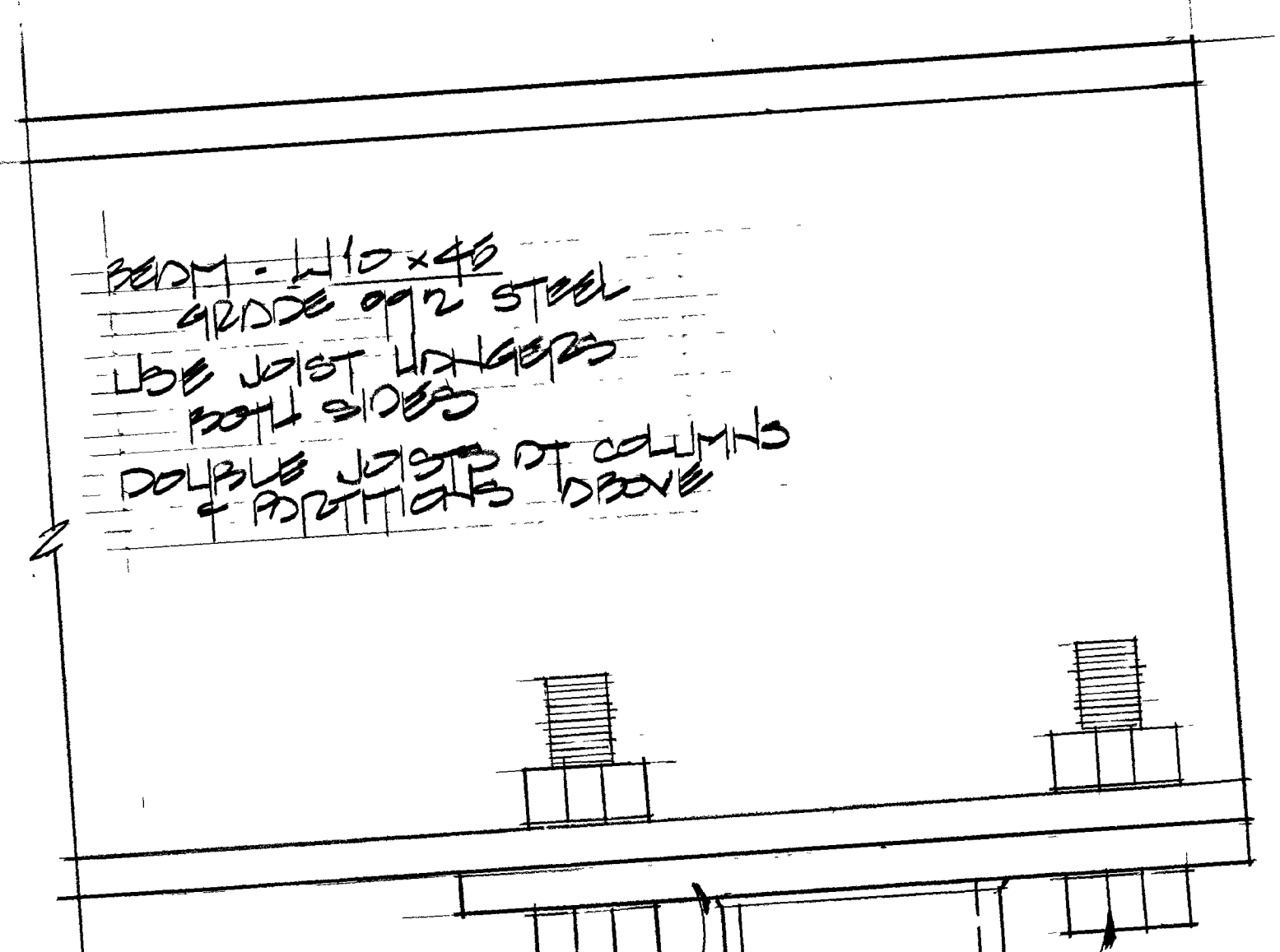
CONTINUED TO VARIOUS SECTIONS W/ WINDOW 92 DETAIL, BEARING FACING 92 DETAIL

- NOTES:**
- ALL WINDOWS TO BE ANDERSEN 400-SERIES (UNLESS OTHERWISE NOTED). ALL UNITS TO HAVE SIMULATED DIVIDED LIGHT (7/8" GRILLE WIDTHS) AS SHOWN ON DRAWINGS (SEE ELEVATIONS FOR MORE INFO.). EXTERIOR COLOR: TO MATCH EXISTING. INTERIOR: TO MATCH EXISTING. ESTATE HARDWARE AS SELECTED BY OWNER (SASH LOCK & KEEPER). EXTENSION JAMBS PREFINISHED TO MATCH WINDOW INTERIOR. LOW-E-4 GLASS THROUGHOUT. HALF SCREENS ON DOUBLE HUNG UNITS. FULL SCREENS ON CASEMENT AND AWNING UNITS. TRUSCENE INSECT SCREEN- COLOR: WHITE. CONFIRM ALL OF ABOVE WITH OWNER PRIOR TO PLACING ORDER.
 - ALL WINDOWS SHALL BE DOUBLE PANE LOW-E INSULATED GLASS AND SHALL HAVE A MAXIMUM U-FACTOR OF .29 AND A MAXIMUM SHGC OF .32.
 - ANY OPERABLE WINDOW WHERE THE TOP OF THE SILL IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND GREATER THAN 72" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING SHALL HAVE A WINDOW OPENING CONTROL DEVICE COMPLYING WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULL OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.2.1.



Project:
Abraham Residence
31 North Clover Drive
Great Neck, NY 11021

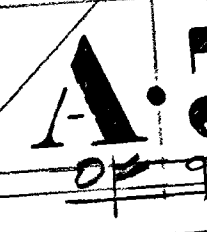
Architect:
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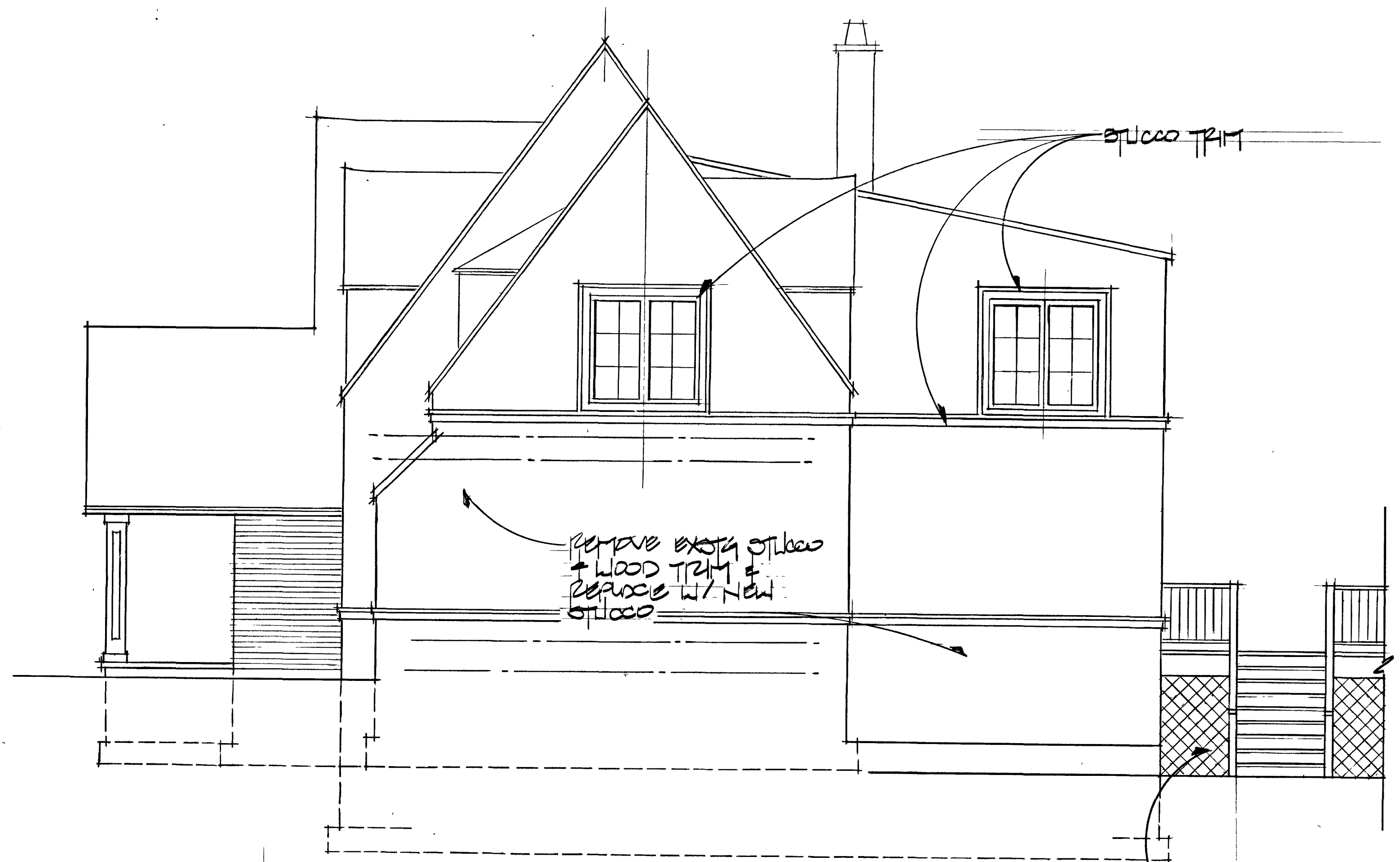


SECOND FLOOR PLAN

RAVINGS 9.18
RAVINGS 11.21
RAVINGS 11.16
RAVINGS 7.18
RAVINGS 8.12
COMMENTS 1.1
PROVIDED 2.1
ALL INTERIOR
PART
PROVIDED 2.1
PROVIDED 1.18
PROVIDED 1.18
INITIAL

SECOND FLOOR PLAN

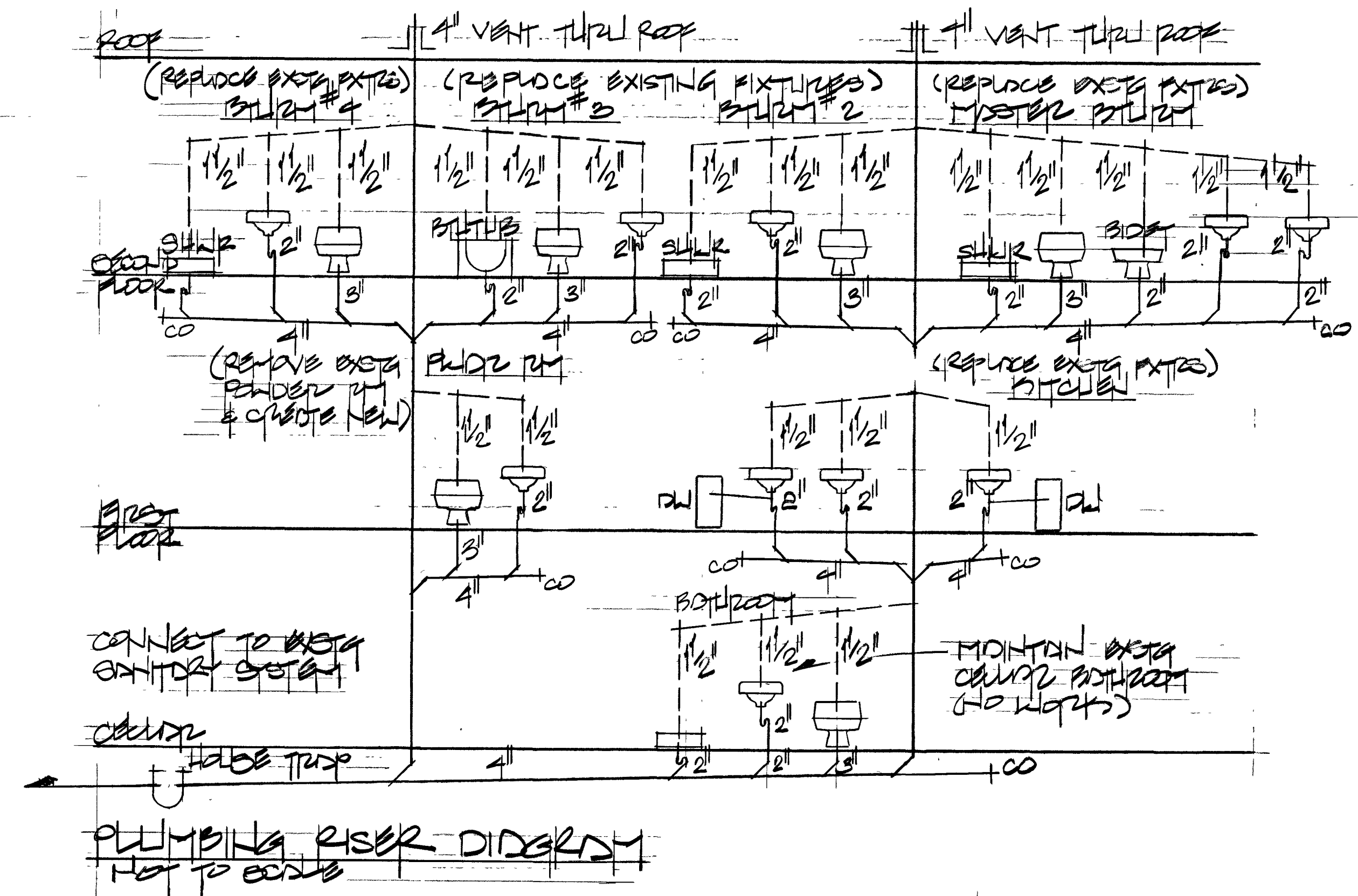




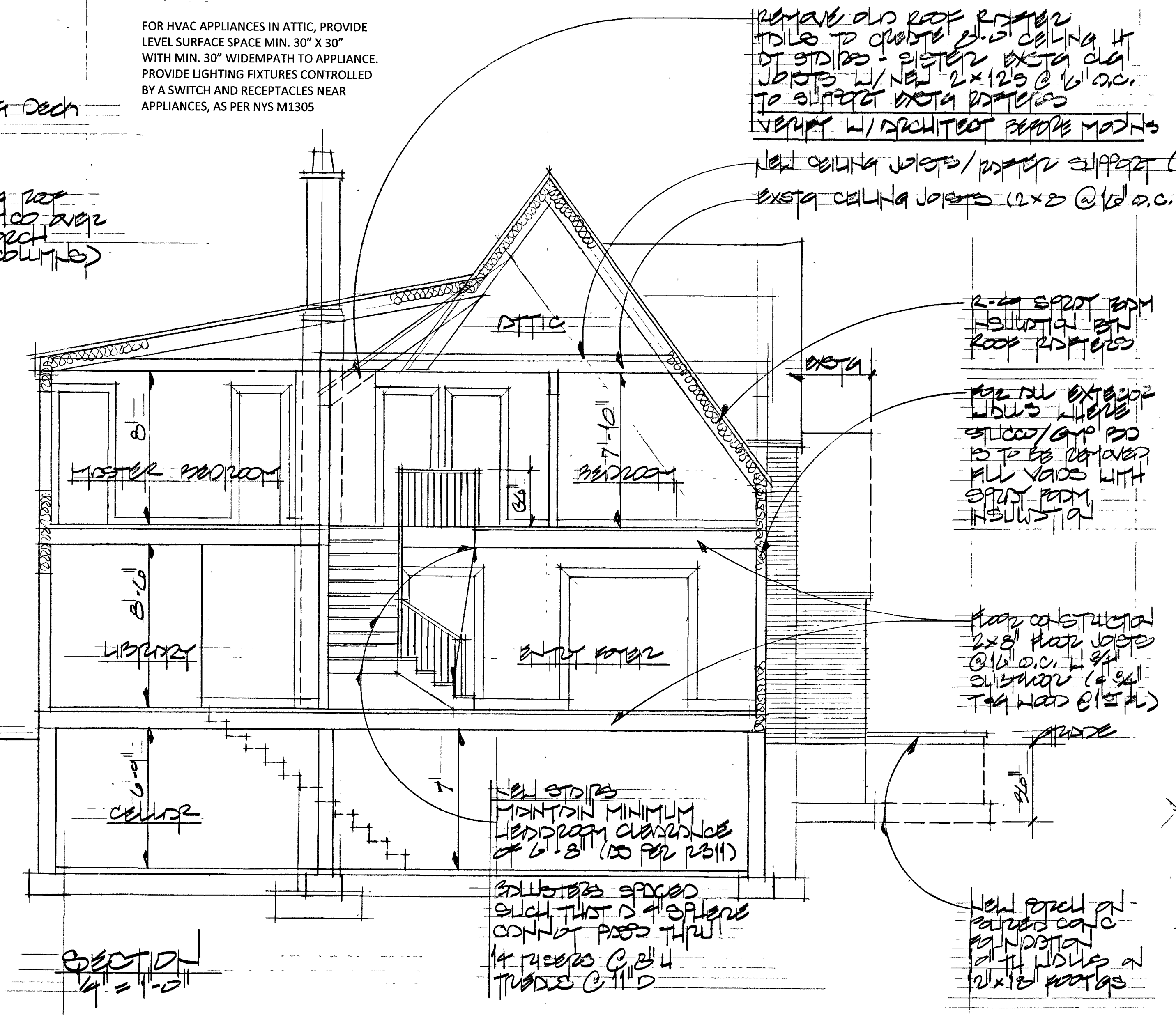
SIDE ELEVATION
1/4" = 1'-0"



SIDE ELEVATION
1/4" = 1'-0"



FOR HVAC APPLIANCES IN ATTIC, PROVIDE LEVEL SURFACE SPACE MIN. 30" X 30" WITH MIN. 30" WIDEPATH TO APPLIANCE. PROVIDE LIGHTING FIXTURES CONTROLLED BY A SWITCH AND RECEPTACLES NEAR APPLIANCES, AS PER NYS M1305



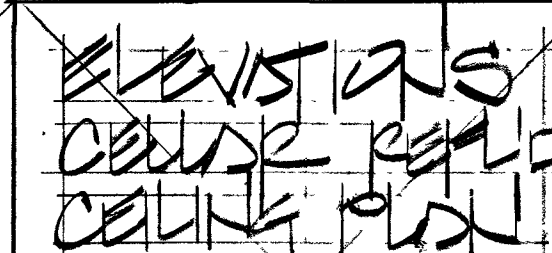
SECTION
1/4" = 1'-0"

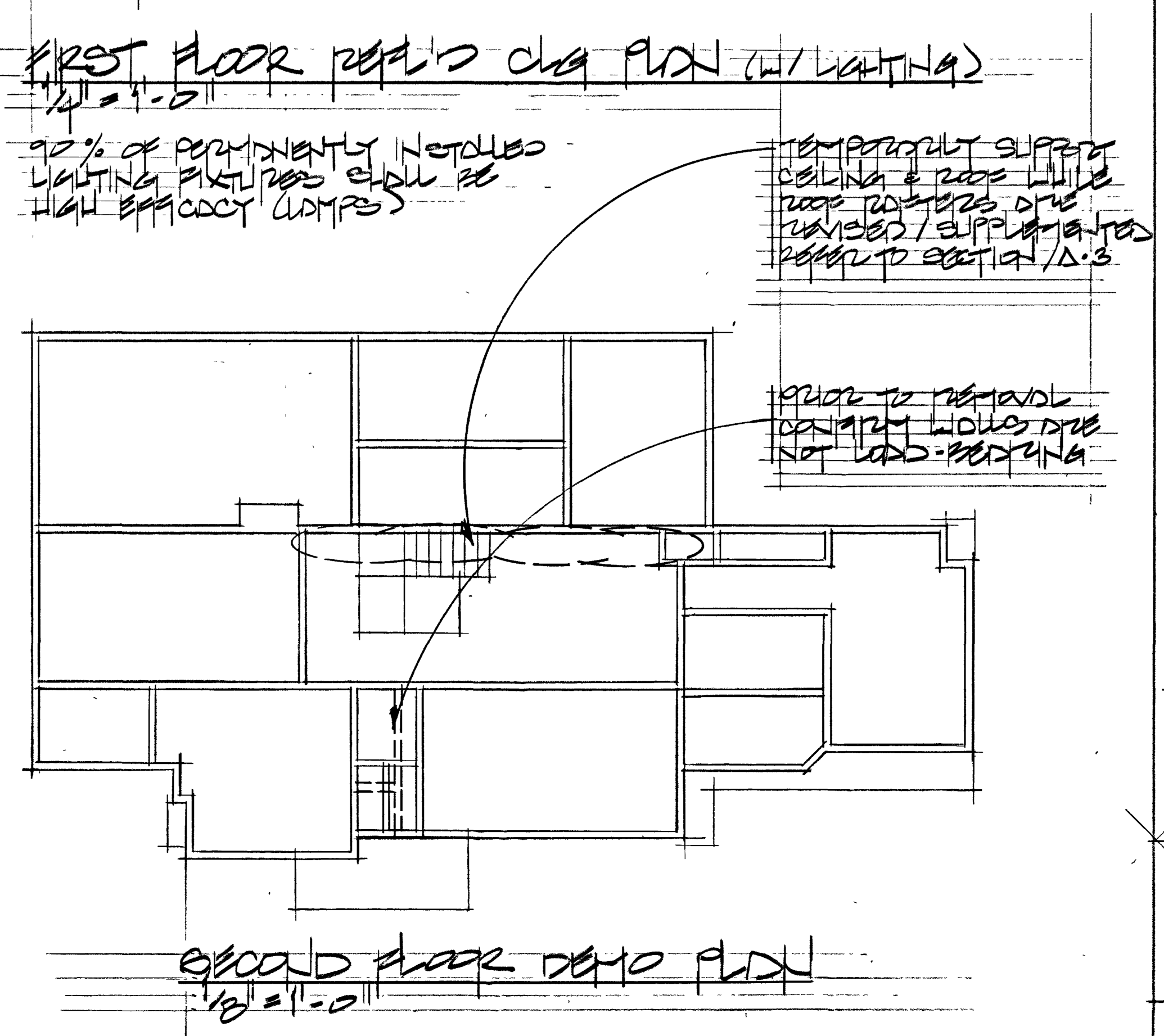
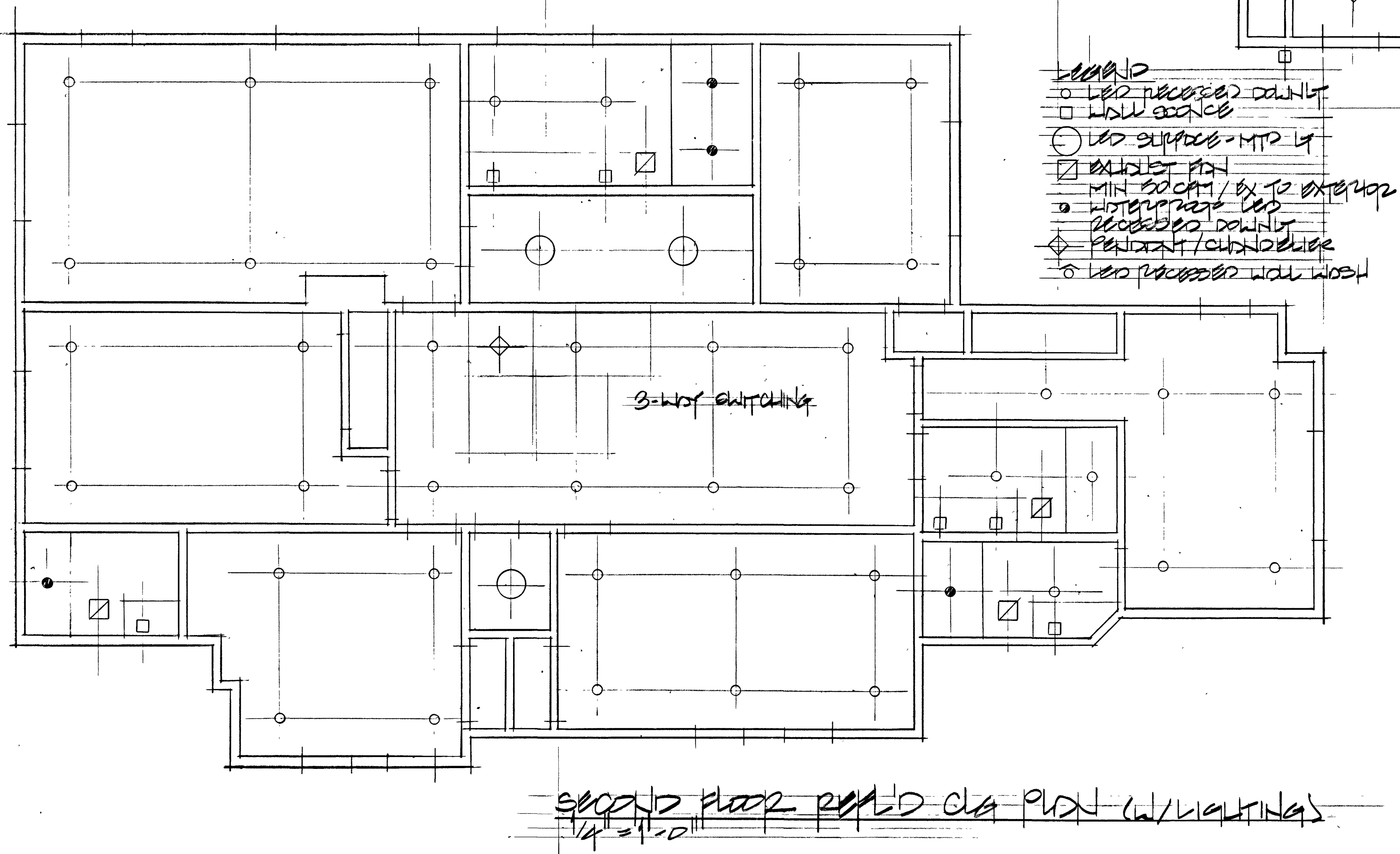
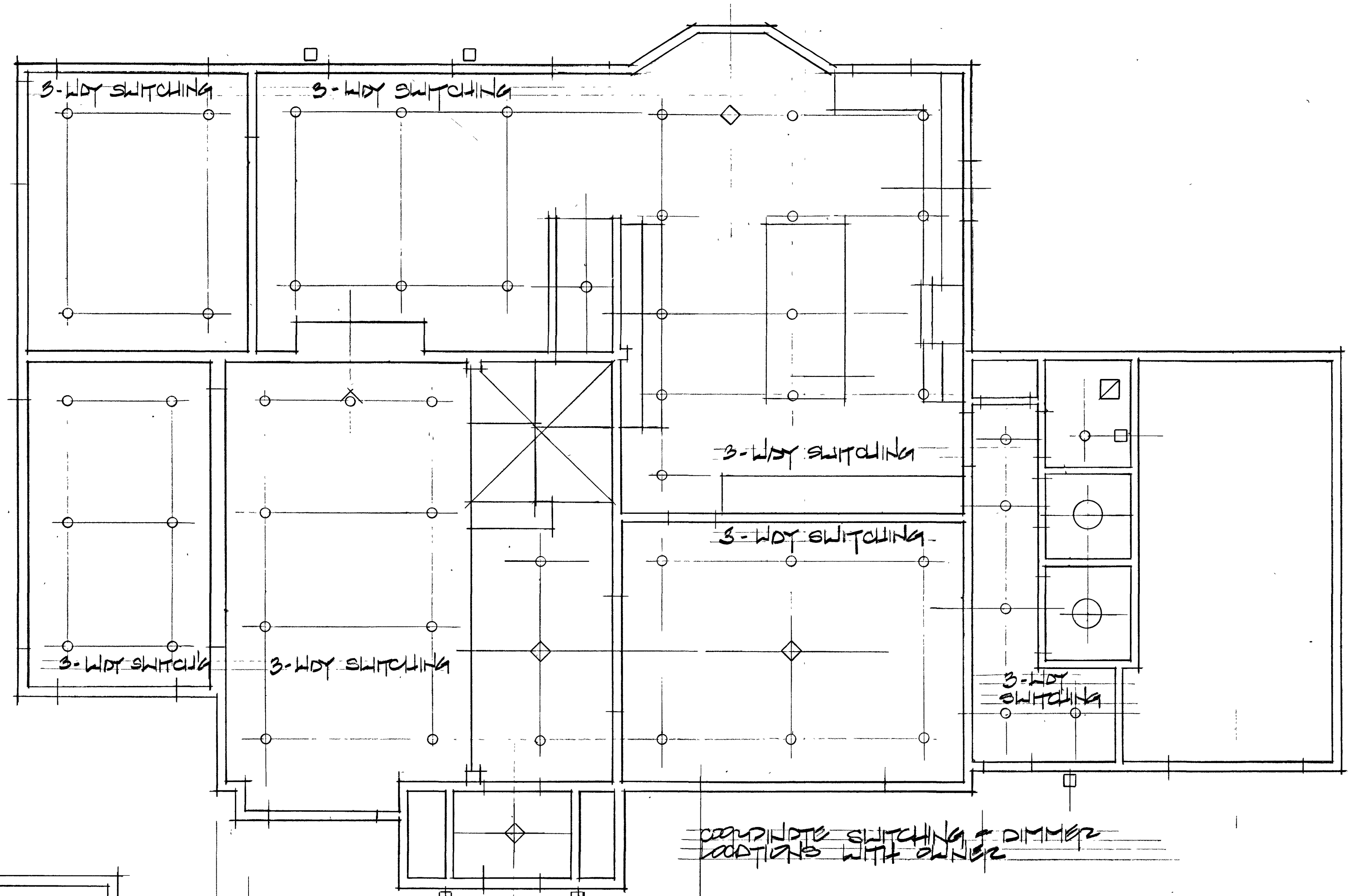
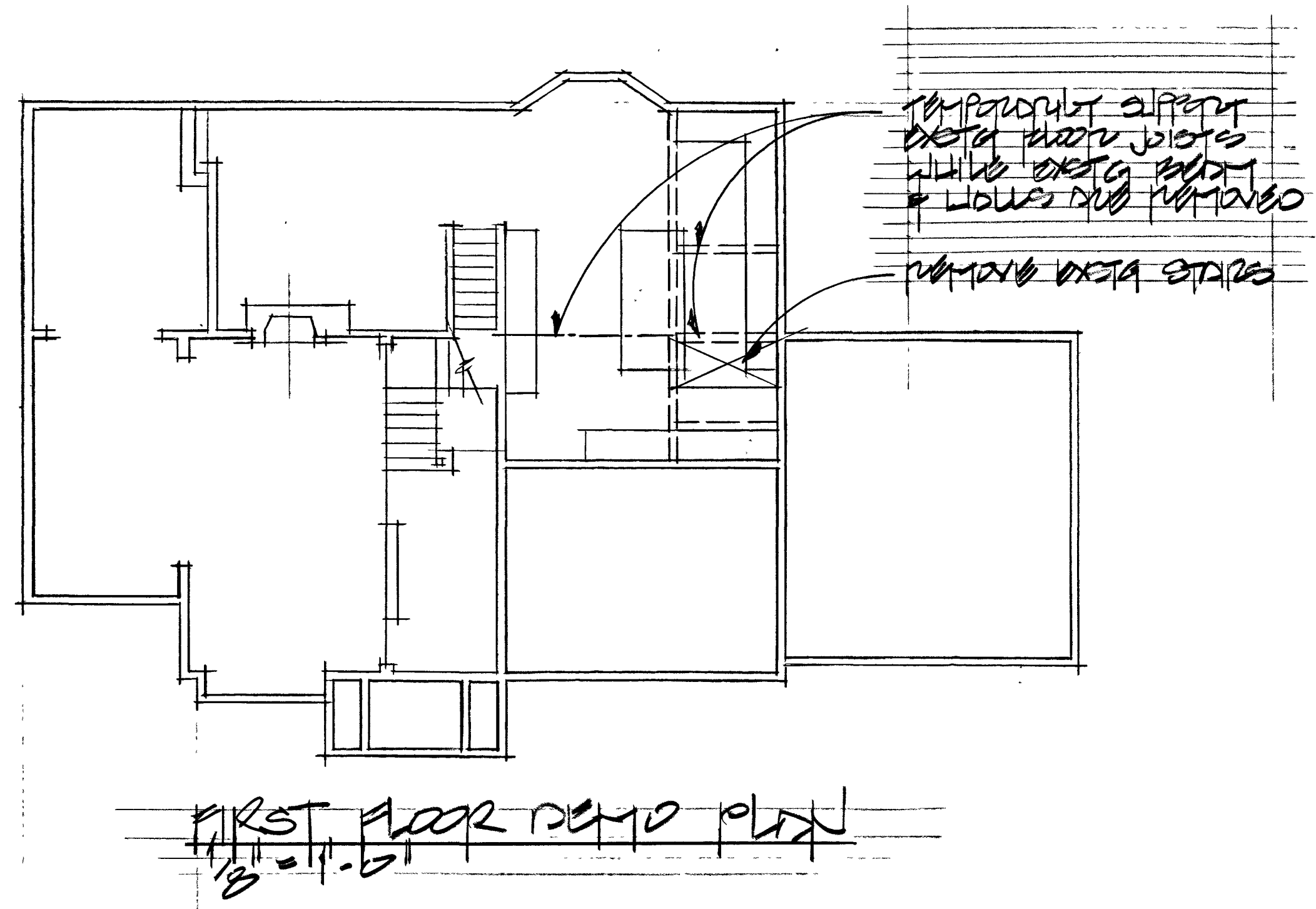
Project
Abraham Residence
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Architect
Barbach & Associates
199C West Shore Road
Great Neck, NY 11024
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REVISIONS	9.13.23
FOR PERM	7.15.23
REVISIONS	11.21.22
	7.21.22
REVISIONS	7.13.24
FOR PERM	7.13.24
COMMENTS	4.4.24
FOR INTERIOR PLUMBING PERMIT	2.22.24

PLUMBING RISER
DIAGRAM
SECTION ELEVATION





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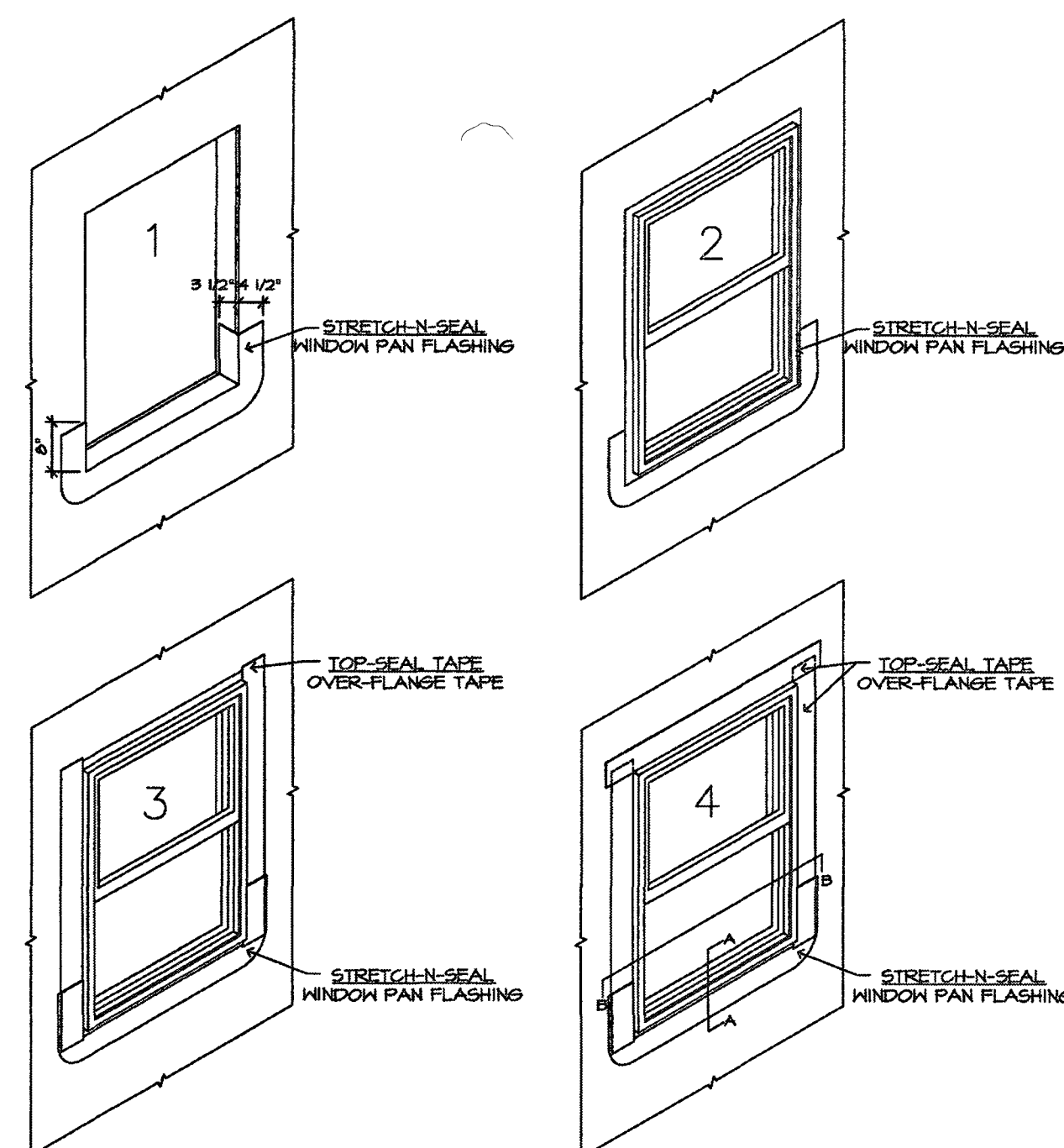
POOL

REVISIONS 9.15.23
REVISED 7.18.24
REVISED 6.18.24
COMMENTS 9.4.24
REVISED 2.23.24

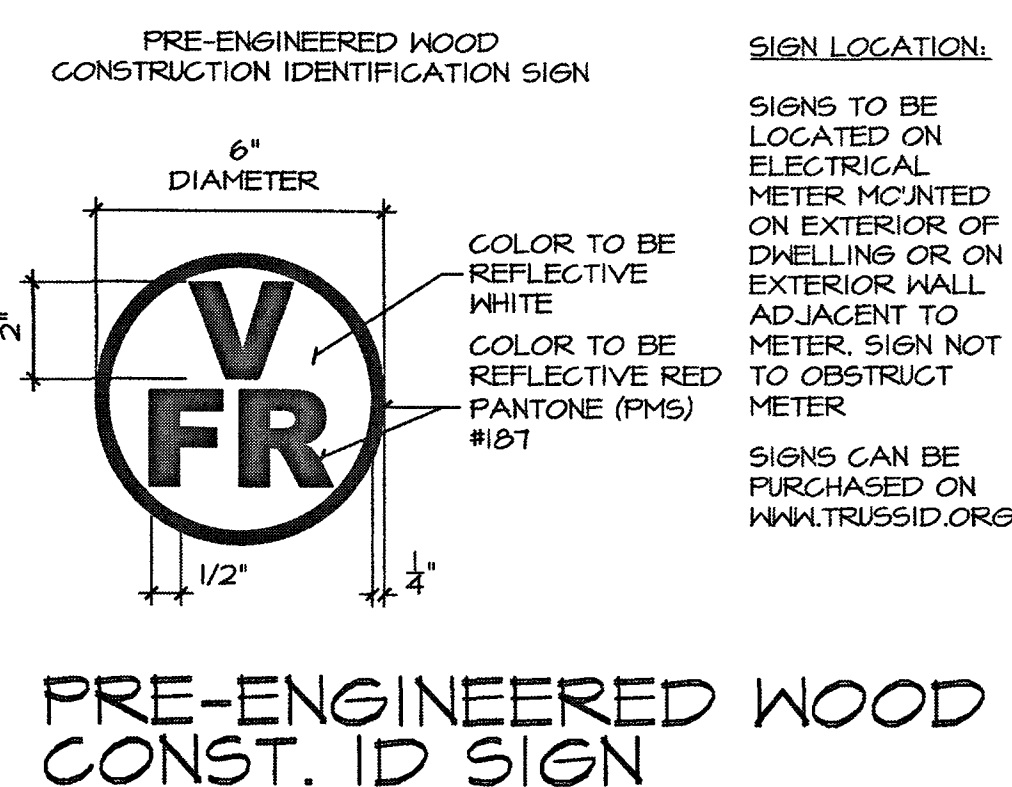
DEM + REFIN'D
CEILING (CLG)
PLANS

A.6
OF 9

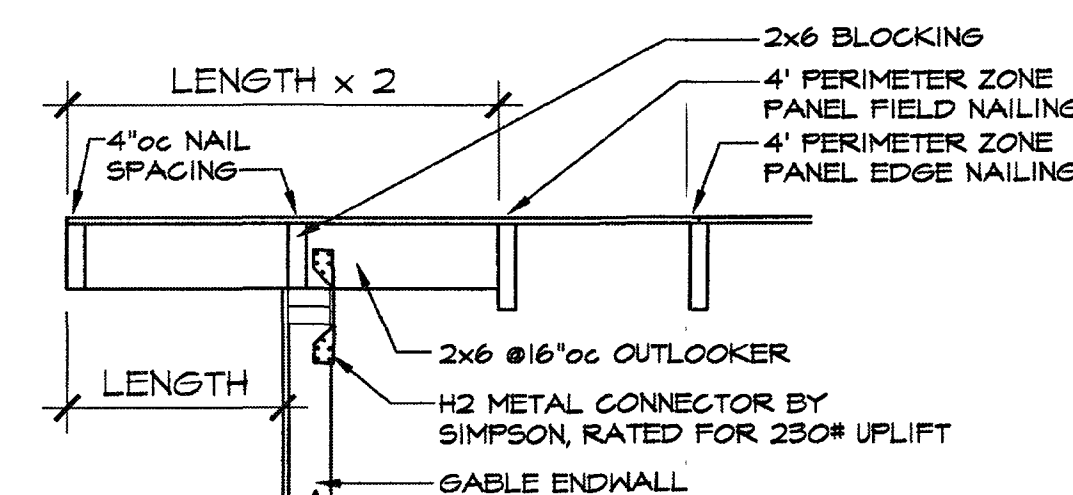
NAILING SCHEDULE TABLE R301.5			
JOINT DESCRIPTION	NUMBER OF COMMON NAILS	NUMBER OF BOX NAILS	NAIL SPACING
ROOF FRAMING			
RAFTER TO TOP PLATE (TOE NAILED)	5-8d	5-10d	PER RAFTER
CEILING JOIST TO TOP PLATE (TOE NAILED)	5-8d	5-10d	PER JOIST
CEILING JOIST TO PARALLEL RAFTER (FACE NAILED)	7-16d	7-40d	EACH LAP
CEILING JOIST LAPS OVER PARTITIONS (FACE NAILED)	7-16d	7-40d	EACH LAP
COLLAR TIE TO RAFTER (FACE NAILED)	215 PLT	215 PLT	PER TIE
BLOCKING TO RAFTER (TOE NAILED)	2-8d	2-16d	EACH END
RIM BOARD TO RAFTER (END NAILED)	2-16d	2-16d	EACH END
WALL FRAMING			
TOP PLATE TO TOP PLATE (FACE NAILED)	2-16d	2-16d	PER JOINT- EACH SIDE
TOP PLATES AT INTERSECTIONS (FACE NAILED)	4-16d	5-16d	24"oc
STUD TO STUD (FACE NAILED)	2-16d	2-16d	16"oc ALONG EDGES
HEADER TO HEADER (FACE NAILED)	16d	16d	PER STUD
TOP OR BOTTOM PLATE TO STUD (END NAILED)	2-16d	2-40d	PER FOOT
BOTTOM PLATE TO FLOOR JOIST, BAND JOIST, END JOIST, OR BLOCKING (FACE NAILED)	2-16d	2-16d	
FLOOR FRAMING			
JOIST TO SILL, TOP PLATE OR GIRDER (TOE NAILED)	4-8d	4-10d	PER JOIST
BRIDGING TO JOIST (TOE NAILED)	2-8d	2-10d	EACH END
BLOCKING TO JOIST (TOE NAILED)	2-8d	2-10d	EACH BLOCK
LEDGER STRIP TO BEAM (FACE NAILED)	5-16d	4-16d	EACH JOIST
JOIST ON LEDGER TO BEAM (TOE NAILED)	5-8d	5-10d	PER JOIST
BAND JOIST TO JOIST (END NAILED)	5-16d	4-16d	PER JOIST
BAND JOIST TO SILL OR TOP PLATE (TOE NAILED)	2-16d	5-16d	PER FOOT
ROOF SHEATHING			
WOOD STRUCTURAL PANELS	8d	10d	6"oc EDGE, 12"oc FIELD
DIAGONAL BOARD SHEATHING	2-8d	2-10d	PER SUPPORT
1"x6" or 1"x8"	2-8d	2-10d	PER SUPPORT
1"x10" OR WIDER	3-8d	3-10d	
CEILING SHEATHING			
GYPSUM WALLBOARD	5d COOLERS	5d COOLERS	7" EDGE/ 10" FIELD
WALL SHEATHING			
WOOD STRUCTURAL PANELS	8d	10d	6"oc EDGE, 12"oc FIELD
STRUCTURAL FIBERBOARD PANELS	11 ga. galv. ROOFING NAIL (0.120"x1-1/2" LONG x 1/8" HEAD)	-	5" EDGE/ 6" FIELD
1/2"	11 ga. galv. ROOFING NAIL (0.120"x1-3/4" LONG x 3/8" HEAD)	-	5" EDGE/ 6" FIELD
25/32"	5d COOLERS	5d COOLERS	7" EDGE/ 10" FIELD
GYPSUM WALLBOARD	8d	8d	6"oc EDGE, 12"oc FIELD
PARTICLE BOARD PANELS	8d	8d	SEE MANUFACTURER
DIAGONAL BOARD SHEATHING	2-8d	2-10d	PER SUPPORT
1"x6" or 1"x8"	2-8d	2-10d	PER SUPPORT
1"x10" OR WIDER	3-8d	3-10d	
FLOOR SHEATHING			
WOOD STRUCTURAL PANELS	8d	10d	6" EDGE/ 12" FIELD
1" OR LESS	10d	16d	6" EDGE/ 12" FIELD
DIAGONAL BOARD SHEATHING	2-8d	2-10d	PER SUPPORT
1"x6" or 1"x8"	2-8d	2-10d	PER SUPPORT
1"x10" OR WIDER	3-8d	3-10d	



WINDOW FLASHING DETAILS

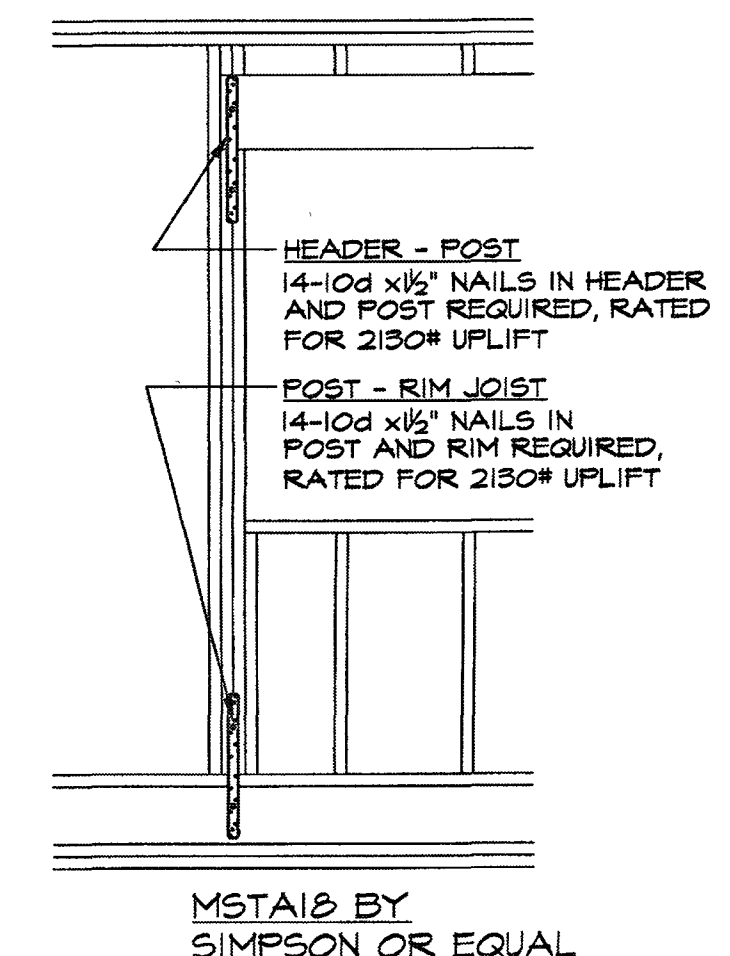


PRE-ENGINEERED WOOD CONST. ID SIGN



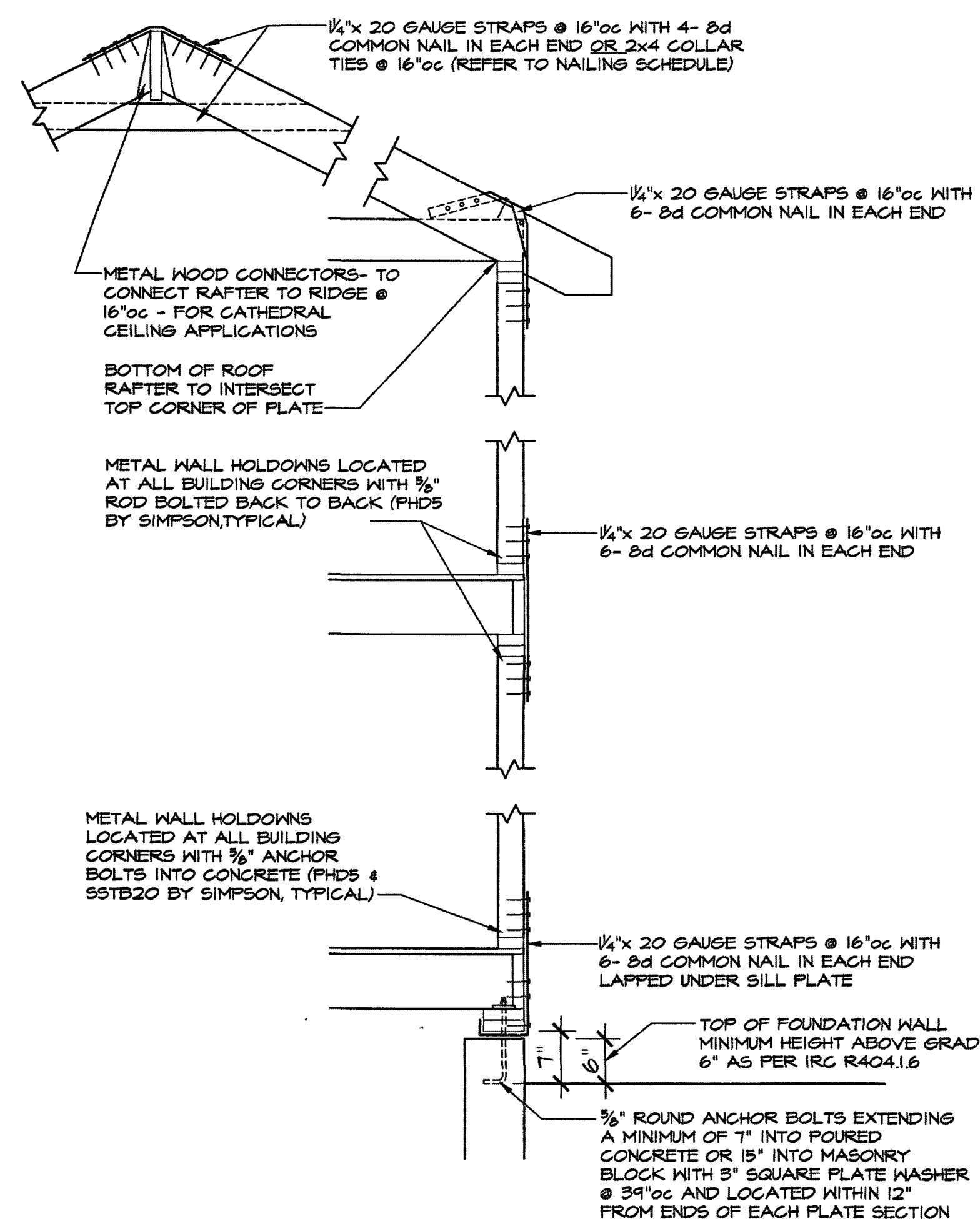
FLYING GABLE DETAIL

3/4"=1'-0"



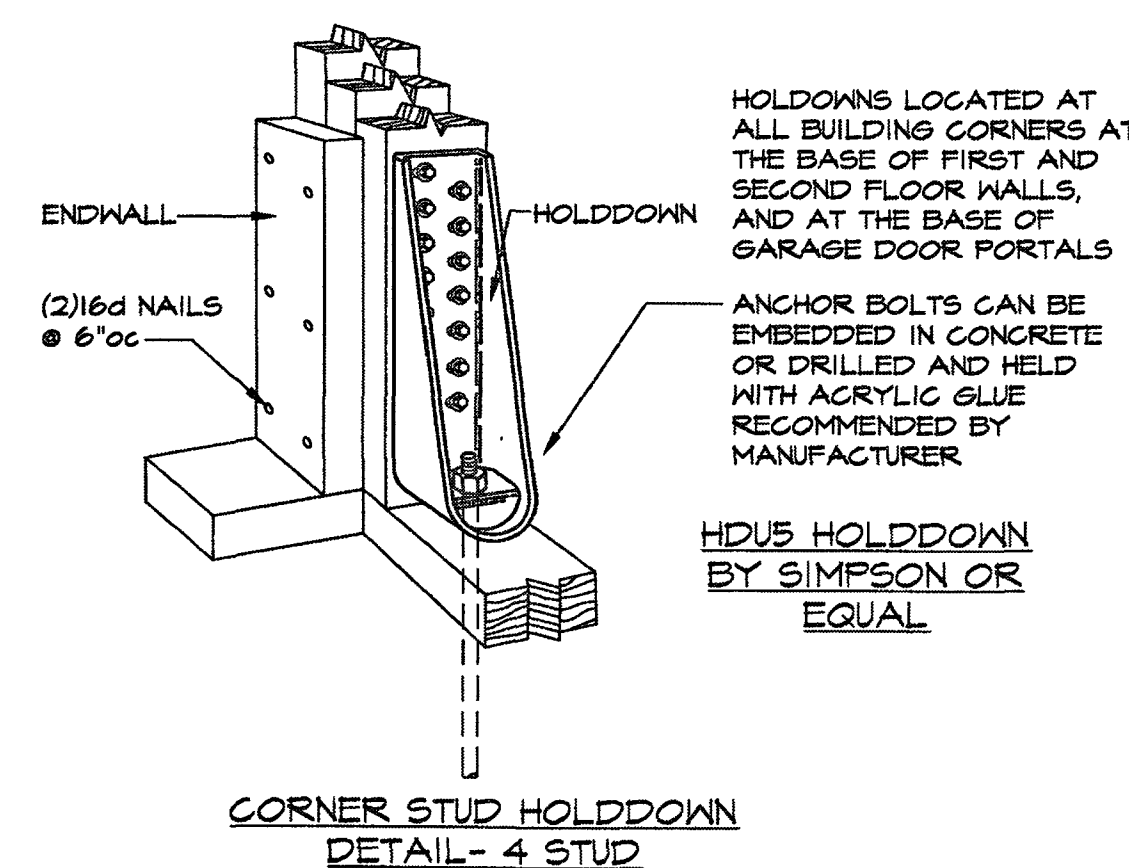
FRAMED OPENING DETAIL

ALSO USE STRAPPING AS SHOWN ON 1/2"=1'-0" FRAMING CONNECTION DETAILS FOR JACK, KING, & CRIPPLE STUDS

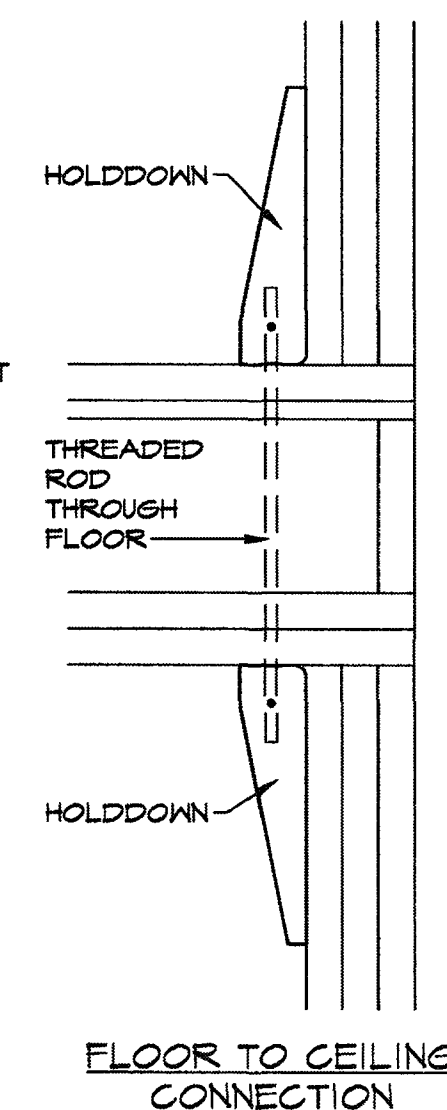


FRAMING CONNECTION DETAILS

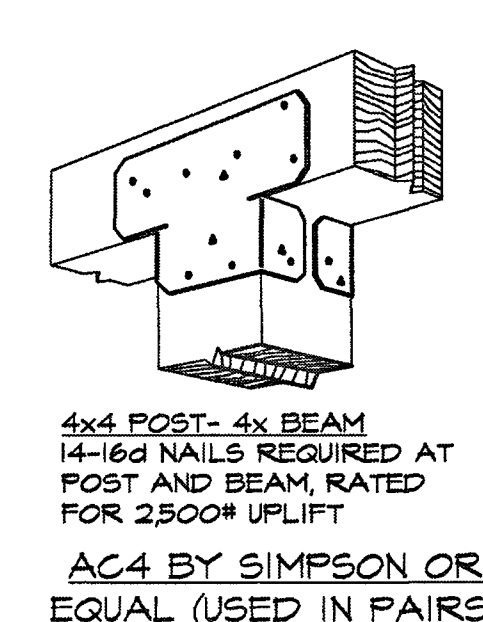
ALL METAL CONNECTORS TO BE GALVANIZED 3/4"=1'-0"



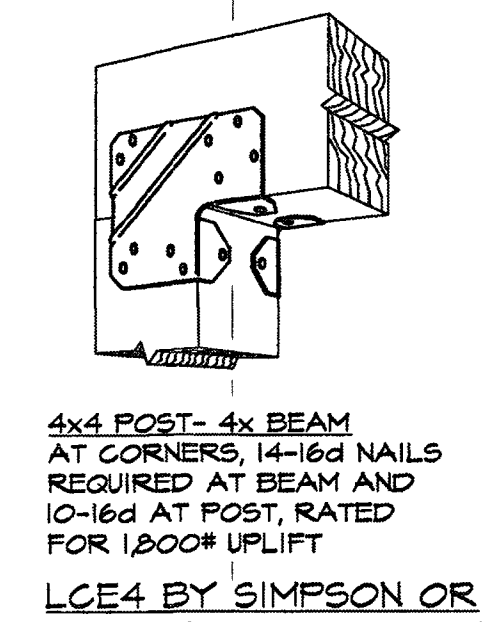
CORNER STUD HOLDDOWN DETAIL- 4 STUD



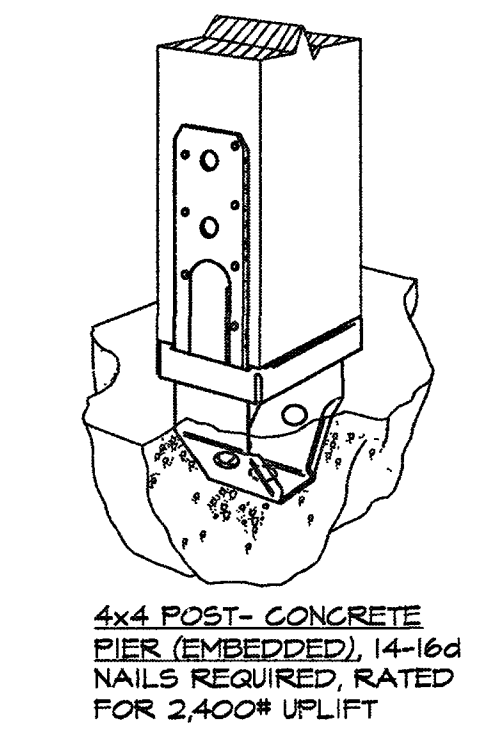
FLOOR TO CEILING CONNECTION



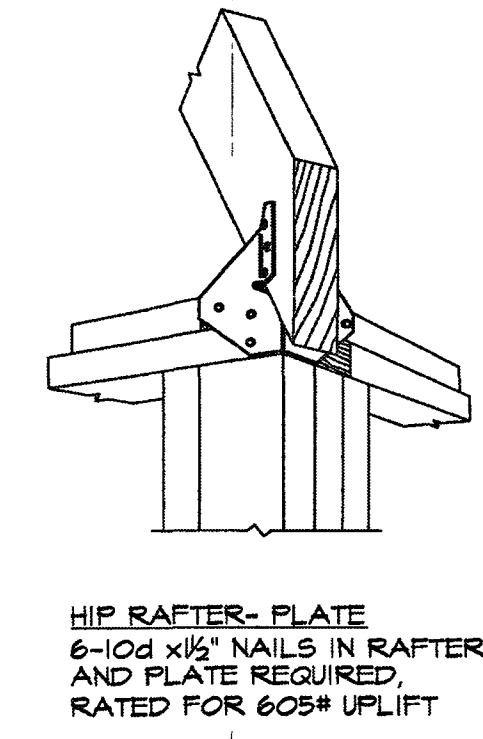
AC4 BY SIMPSON OR EQUAL (USED IN PAIRS)



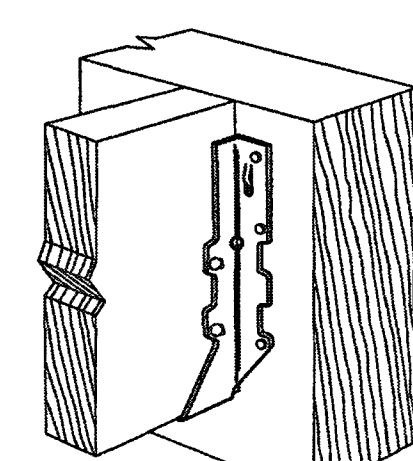
LCE4 BY SIMPSON OR EQUAL (USED IN PAIRS)



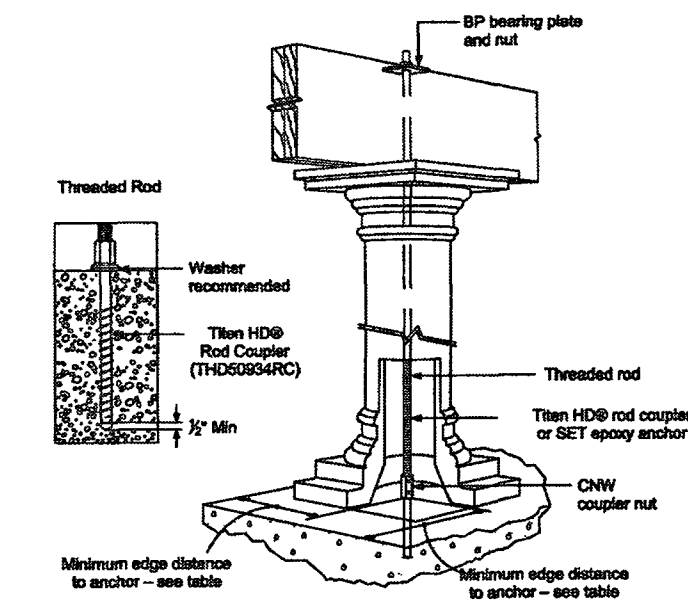
PBS44A BY SIMPSON OR EQUAL



HCR BY SIMPSON OR EQUAL



LUS28 BY SIMPSON OR EQUAL



COLUMN CONNECTION BY SIMPSON OR EQUAL

TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS

UNINHABITABLE ATTICS WITHOUT STORAGE- NOT MORE THAN 42"	10 PSF
UNINHABITABLE ATTICS WITH LIMITED STORAGE	20 PSF
HABITABLE ATTICS WITH FIXED STAIRS	30 PSF
EXTERIOR BALCONIES AND DECKS	40 PSF
GUARDS AND HANDRAILS	200 PSF
GUARDS INFILL COMPONENTS	50 PSF
PASSENGER VEHICLE GARAGES	50 PSF
ROOMS OTHER THAN SLEEPING ROOMS	40 PSF
SLEEPING ROOMS	30 PSF
STAIRS	40 PSF

TABLE R301.6 MINIMUM ROOF LIVE LOADS OF HORIZONTAL PROJECTION

USE GROUND SNOW LOAD 20 PSF

TABLE R301.7 DEFLECTION

RAFTERS HAVING SLOPES GREATER THAN 3:12 WITH FINISHED CEILING NOT ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	H/180
CEILINGS WITH BRITTLE FINISHES (PLASTER AND STUCCO)	L/360
CEILINGS WITH FLEXIBLE FINISHES (GYPSUM BOARD)	L/240
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS- WIND LOADS WITH PLASTER OR STUCCO FINISHES	H/360
EXTERIOR WALLS- WIND LOADS WITH OTHER BRITTLE FINISHES	H/240
EXTERIOR WALLS- WIND LOADS WITH FLEXIBLE FINISHES	H/180
LINTELS SUPPORTING MASONRY VENEER WALLS	L/600

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CONSTRUCTION DETAILS



2016 IECC (INTERNATIONAL ENERGY CONSERVATION CODE)

IRC N1101.14 (R401.3) - MANDATORY CERTIFICATE SHALL BE COMPLETED BY BUILDER OR REGISTERED DESIGN PROFESSIONAL AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM, OR AN APPROVED LOCATION INSIDE THE BUILDING.

IRC N1102.4 - MANDATORY BLOWER DOOR TESTING AND DUCT LEAKAGE TESTING TO BE PERFORMED BY A CERTIFIED ENERGY STAR HERS RATER (CERTIFICATION REQUIRED).

IRC N1103 - MANDATORY SYSTEMS REQUIREMENTS: AUTOMATIC THERMOSTAT CONTROLS, DUCT LEAKAGE TESTING AND COMPLIANCE CERTIFICATE REQUIRED, MECHANICAL PIPING INSULATION REQUIRED, IN ACCORDANCE TO IRC N1103.3

IRC N1103.7 (R403.7) - HVAC SYSTEM DESIGN TO COMPLY WITH ACCA MANUAL J. NEW OR REPLACEMENT HEATING AND COOLING EQUIPMENT SHALL HAVE AN EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

INSULATION SPECIFICATIONS:

- FLAT CEILING: R-35 BATT, IF APPLICABLE.
- HOT ROOF (UN-VENTED ATTIC): R-30 BATT (8'-8" LOW DENSITY SPRAY FOAM), IF APPLICABLE.
- FLOORS ABOVE UNCONDITIONED SPACE: R-30 BATT MIN.(IN LIEU OF R-30), IF APPLICABLE.
- ABOVE GRADE EXTERIOR WALLS: R-21 BATT (N-BETWEEN 2X6 STUDS

MECHANICAL SPECIFICATIONS:

- ≥ 90% A/E BOILER
- ≤ 13 SEER AC EQUIPMENT
- PROGRAMMABLE THERMOSTAT
- MECHANICAL VENTILATION ≥ 100CFM
- ≥ ONE ENERGY STAR BATH FAN WITH AN ELECTRONIC PROGRAMMABLE TIMER

OTHER SPECIFICATIONS:

- WINDOWS: U < 0.30, SHGC < 0.30
- < 3 AIR CHANGES PER HOUR
- 100% HIGH EFFICIENCY LIGHTING (CFL'S OR LED'S)
- ALL APPLIANCES MUST BE ENERGY STAR CERTIFIED

ADDITIONAL ENERGY CODE COMPLIANCE REQUIREMENTS:

1. APPLY 1/2" THICK HIGH DENSITY (HD) FOAM INSULATION UNDER TOP PLATES IN-BETWEEN EXTERIOR WALL STUDS
2. APPLY CAULK ADHESIVE OR SEALANT TO SEAL GAP BETWEEN 2 TOP PLATES PRIOR TO INSTALLATION OF EXTERIOR PLYWOOD, GYP. BOARD, AND INSULATION.
3. ALL DUCT SEAMS TO BE SEALED VIA MASTIC COMPOUND, OR JOINT COMPOUND.

COMPLIANCE SOFTWARE R101.5.1

ENERGY COMPLIANCE CERTIFICATE AMASSED USING THE "RES CHECK" COMPUTER SOFTWARE DEVELOPED BY THE UNITED STATES DEPARTMENT OF ENERGY

INFORMATION ON CONSTRUCTION DOCUMENTS R103.2

THE ENCLOSED/ SUBMITTED CONSTRUCTION DOCUMENTS WERE PREPARED BY A NEW YORK STATE REGISTERED DESIGN PROFESSIONAL AND CLEARLY DOCUMENT THE CODE COMPLIANCE, INCLUDING BUT NOT LIMITED TO THE FOLLOWING ITEMS:

1. INSULATION MATERIALS AND THEIR R-VALUES.
2. FENESTRATION U-FACTOR AND SOLAR HEAT GAIN COEFFICIENT (SHGC).
3. AIR INFILTRATION RATE OF ALL DIFFERING FENESTRATION ITEMS
4. AREA-WEIGHTED U-FACTOR AND SOLAR HEAT GAIN COEFFICIENT (SHGC) CALCULATIONS.
5. MECHANICAL SYSTEM DESIGN CRITERIA ALONG WITH MANUAL J CALCULATIONS (OR APPROVED EQUAL)
6. MECHANICAL AND SERVICE WATER HEATING SYSTEM AND EQUIPMENT TYPES, SIZES, AND EFFICIENCIES.
7. EQUIPMENT AND SYSTEM CONTROLS.
8. DUCT SEALING, DUCT AND PIPE INSULATION AND LOCATION.
9. AIR SEALING TYPE, LOCATIONS AND DETAILS

REQUIRED INSPECTIONS (R104.2)

THE FOLLOWING INSPECTIONS SHALL BE PERFORMED AS REQUIRED IN ACCORDANCE WITH R104.2.1 THROUGH R104.2.5.

R104.2.1: FOOTING AND FOUNDATION

R104.2.2: FRAMING AND ROUGH IN

R104.2.3: PLUMBING ROUGH IN

R104.2.4: MECHANICAL ROUGH IN

R104.2.5: FINAL INSPECTION

COMPONENTS TO BE INSPECTED ARE INSULATION, AIR SEALS, AIR BARRIERS, VAPOR RETARDERS, DUCT SEALING, MEP COMPONENTS, WINDOWS AND DOORS, AND LIGHTING CONTROLS.

TESTING R402.4.1.2

AIR LEAKAGE TESTING MUST BE CONDUCTED BY AN APPROVED 3RD PARTY TESTING ENTITY IN ACCORDANCE WITH R402.4.1.2. THE BUILDING MUST BE VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. A DETAILED WRITTEN REPORT OF THE TESTING RESULTS PERFORMED BY THE THIRD PARTY TESTING ENTITY MUST BE SUBMITTED TO THE BUILDING DEPARTMENT. THE REPORT MUST BE SIGNED AND NOTARIZED BY THE 3RD PARTY ENTITY.

NOTE: ALL INSPECTIONS SHALL BE PERFORMED BY A THIRD PARTY NY STATE REGISTERED DESIGN PROFESSIONAL NOT AFFILIATED WITH THE DESIGN OR CONSTRUCTION OF THE PROPOSED BUILDING IN ACCORDANCE WITH R104.4. A DETAILED LETTER CONTAINING A STATEMENT CERTIFYING THAT THE BUILDING IS IN FULL COMPLIANCE WITH THE 2016 ENERGY CONSERVATION CONSTRUCTION CODE MUST BE SUBMITTED TO THE BUILDING DEPARTMENT AS A REQUIREMENT FOR A CERTIFICATE OF OCCUPANCY.

NYS CONSERVATION CONSTRUCTION CODE NOTES

1. ALL WORK SHALL CONFORM TO N.Y.S. ENERGY CONSERVATION CONSTRUCTION CODE AND SHALL MEET BUT NOT LIMITED TO THE FOLLOWING REQUIREMENTS
2. DESIGN VALUES FOR WARM - HUMID DEFINITION - MOIST (A) LOCATIONS. 5200 DEGREE DAYS 15° F (DEGREES FAHRENHEIT) TO 67° F (DEGREES FAHRENHEIT) WINTER DESIGN DRY BULB TEMPERATURE, OR 73° F (DEGREES FAHRENHEIT) SUMMER DESIGN DRY BULB TEMPERATURE.
3. WINDOW AND DOOR MANUFACTURERS SHALL CERTIFY THAT THEIR PRODUCTS MEET MINIMUM U-VALUES INDICATED AND AIR INFILTRATION AS PER CODE.
4. DOMESTIC HOT WATER SHALL COMPLY WITH REQUIREMENTS OF CLASS ONE-WATER HEATERS AND WATER TEMPERATURE SHALL BE 140° F (DEGREES FAHRENHEIT).
5. HVAC EQUIPMENT SHALL MEET FOLLOWING REQUIREMENTS:
 - MINIMUM COMBUSTION EFFICIENCY OF 75% AT MAXIMUM RATED OUTPUT.
 - HVAC EQUIPMENT PERFORMANCE SHALL BE CERTIFIED BY THE MANUFACTURER FOR CONFORMANCE WITH SECTION E 403.1.3 OF NYS ENERGY CONSERVATION CONSTRUCTION CODE. THERMOSTAT SETTING RANGE FOR HEATING 45° F (DEGREES FAHRENHEIT) TO 75° F (DEGREES FAHRENHEIT) FOR COOLING 70° F (DEGREES FAHRENHEIT) TO 85° F (DEGREES FAHRENHEIT).
 - ALL HEATING PIPING UP TO 1" Ø (DIAMETER) SHALL BE INSULATED WITH 1" PIPE-I INSULATION WHEN RUN IN VENTILATED CRAWL SPACE, UNHEATED BASEMENTS AND CELLARS WITHOUT INSULATED WALLS AND UNDER CONCRETE SLABS ON GRADE.
6. FIREPLACE SHALL BE EQUIPPED WITH THE FOLLOWING:
 - DAMPER WITH AIR LEAKAGE OF 20 CFM MAXIMUM. DAMPENED COMBUSTION AIR VENTS WITH TOTAL CAPACITY BETWEEN 150 CFM TO 200 CFM LOCATED IN EARTH AND AT SIDES OF FIREBOX AND NON-COMBUSTIBLE GLASS PLATE DOOR.
7. THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER THE DIRECTION OF THE UNDERSIGNED AND TO THE BEST OF THE UNDERSIGNED'S KNOWLEDGE, INFORMATION AND BELIEF MEET THE REQUIREMENTS OF THE N.Y.S. ENERGY CONSERVATION CONSTRUCTION CODE.

CODE REQUIREMENTS (IRC RES. CODE CHAPTER 3 - BUILDING PLANNING)

1. ALL WORK SHALL CONFORM WITH THE 2015 INTERNATIONAL BUILDING CODE, CHAPTER 3 SECTION R301.2.1 AND R301.2.1.1. THE SOUTHERN BUILDING CONGRESS INTERNATIONAL STANDARD FOR HURRICANE RESISTANT RESIDENTIAL CONSTRUCTION S510 10-99 WAS USED. THE FOLLOWING MUST BE DONE IN ORDER TO COMPLY TO THIS STANDARD

ENERGY CODE COMPLIANCE REQUIREMENTS:

1. APPLY 1/2" THICK HIGH DENSITY (HD) SPRAY FOAM INSULATION UNDER TOP PLATES IN-BETWEEN EXTERIOR WALL STUDS, INSPECTION WILL BE PERFORMED.

2. APPLY CAULK ADHESIVE OR SEALANT TO SEAL GAP BETWEEN 2 TOP PLATES AND BASE PLATE PRIOR TO INSTALLATION OF EXTERIOR PLYWOOD, GYP. BOARD, AND INSULATION, INSPECTION WILL BE PERFORMED.

3. ALL DUCT SEAMS TO BE SEALED VIA MASTIC COMPOUND, OR JOINT COMPOUND, INSPECTION WILL BE PERFORMED.

4. PROVIDE AUTOMATIC AIR DAMPERS AT ALL EXHAUST VENTS LEADING TO OUTSIDE. ALL AC DUCTS TO BE INSPECTED FOR AIR LEAKAGE, AIR TIGHT SEAL REQUIRED THROUGHOUT DWELLING.

5. ALL DUCTS, INCLUDING RETURN AIR DUCTS TO BE INSULATED VIA R6 @ ATTIC LEVEL & R6 @ CELLAR LEVEL.

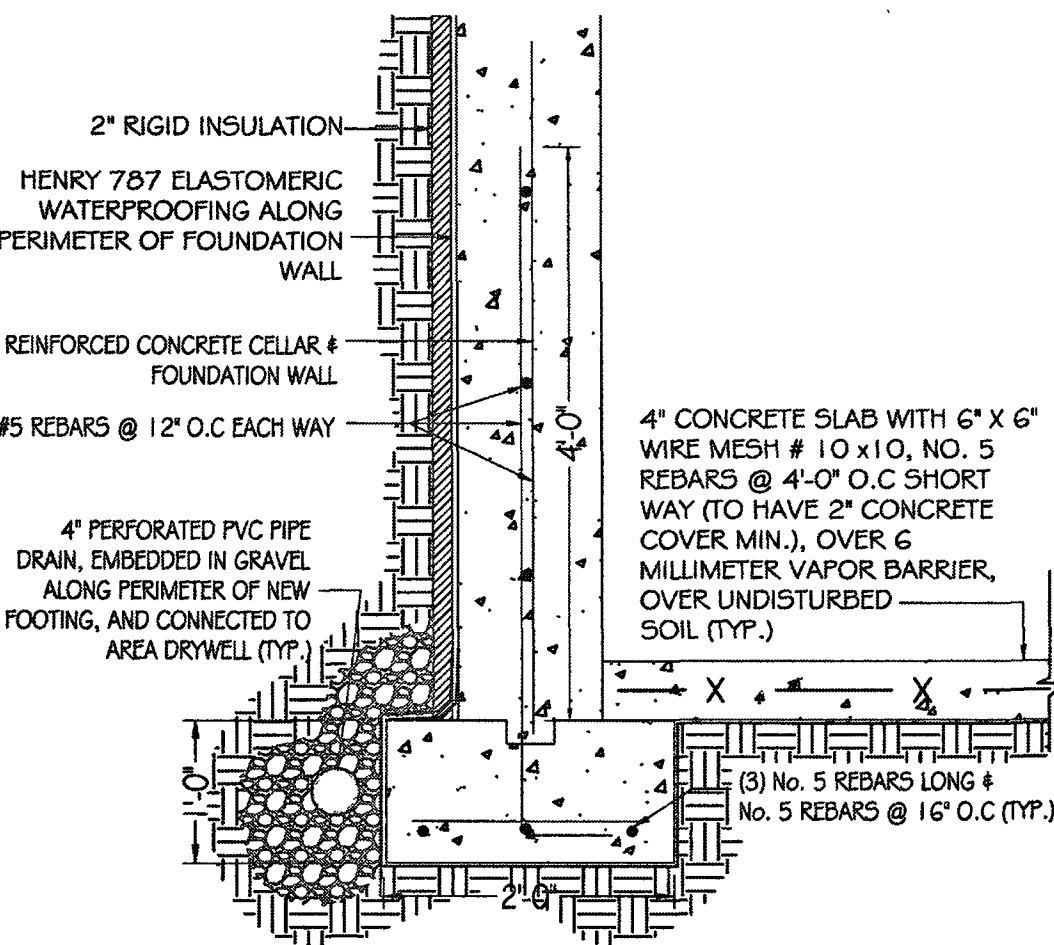
6. ALL DUCT OPENINGS UNDER AC REGISTERS TO RECEIVE DUCT TAPE ALONG PERIMETER

7. ALL HOT WATER PIPES TO BE INSULATED WITH R3 INSULATION AT CELLAR AND ATTIC LEVEL, WHEN OUTSIDE OF BUILDING ENVELOPE

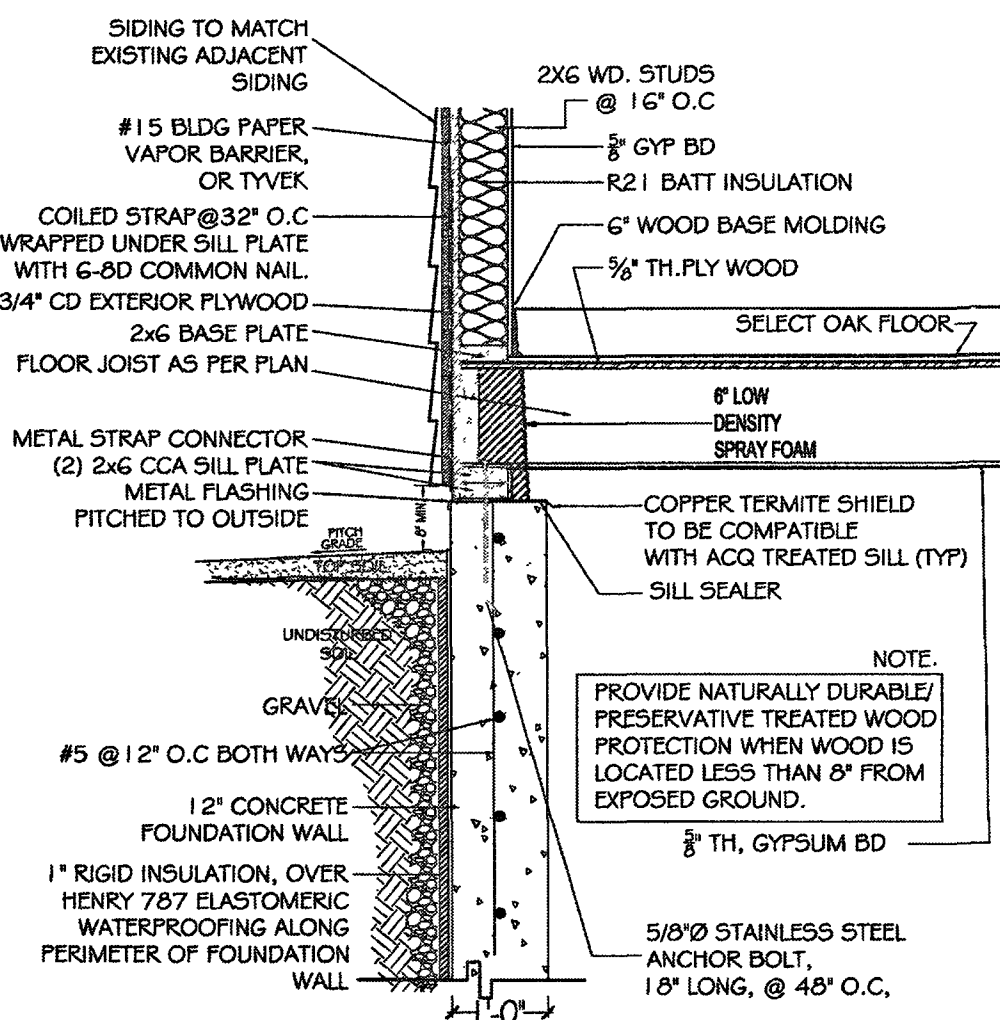
8. AT LEAST ONE BATH FAN MUST BE ENERGY STAR RATED (HARD PIPED TO EXTERIOR) AND HOOKED-UP TO A PROGRAMMABLE TIME

9. ALL EXTERIOR HOT AND COLD WATER PIPING TO BE INSULATED VIA 1/2" THICK CLOSED CELL FOAM PIPE INSULATION, TYP.

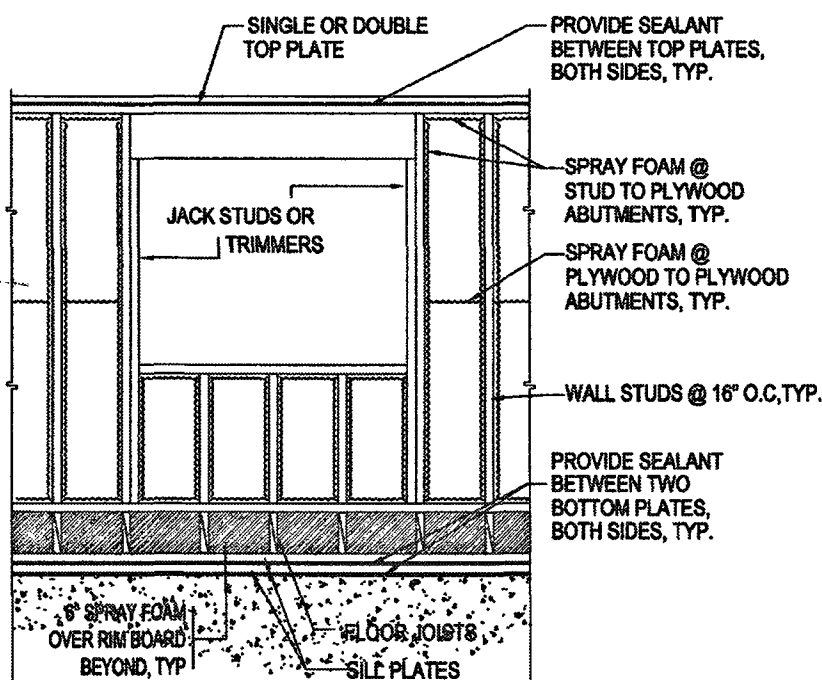
10. PROVIDE FLASH AND BATT INSULATION BETWEEN EXTERIOR STUD BAYS. SEE TYP. WALL SECTION FOR BATT INSULATION RATING



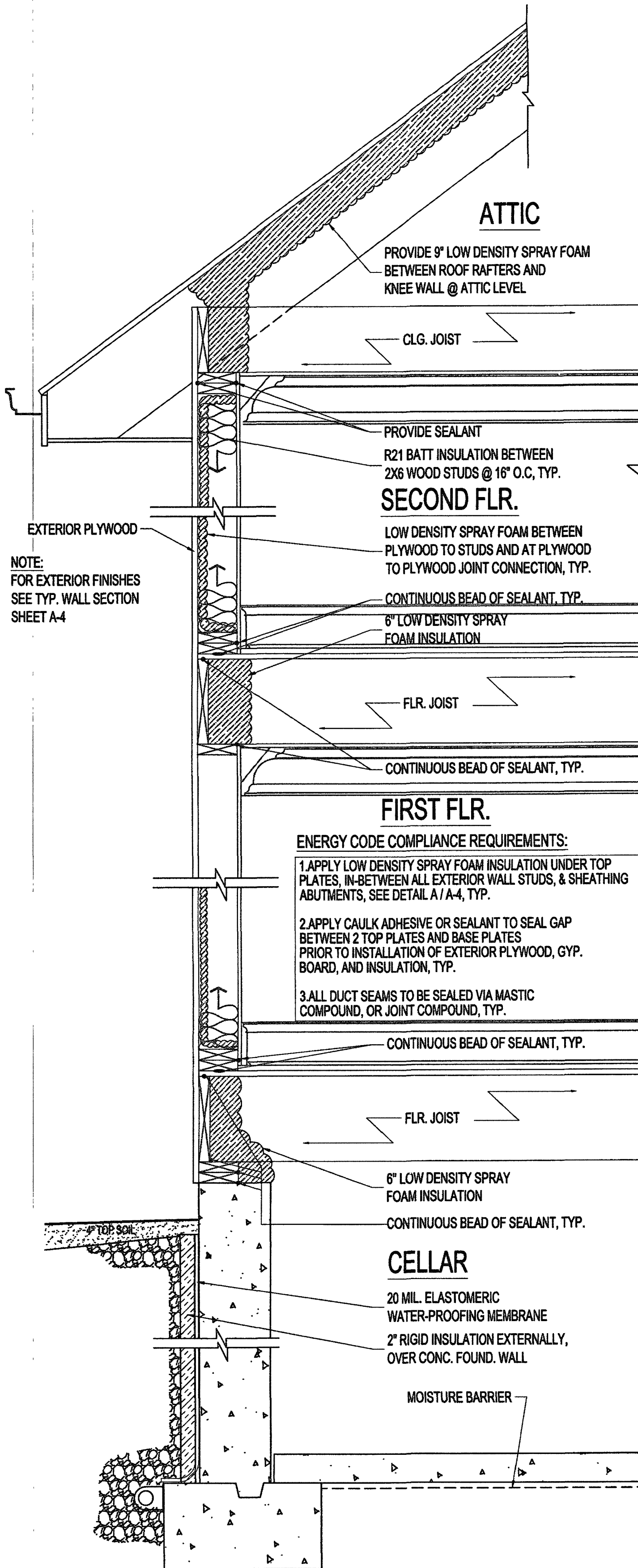
1 EXTERIOR WALL AT FOOTING
A13 SCALE: N.T.S.



2 EXTERIOR WALL AT FLOOR JOIST
A13 SCALE: N.T.S.



3 PICTURE FRAME AIR SEAL DETAIL
A13 SCALE: N.T.S.



4 TYP. AIR SEAL & INSULATION DIAGRAM
A13 SCALE: N.T.S.

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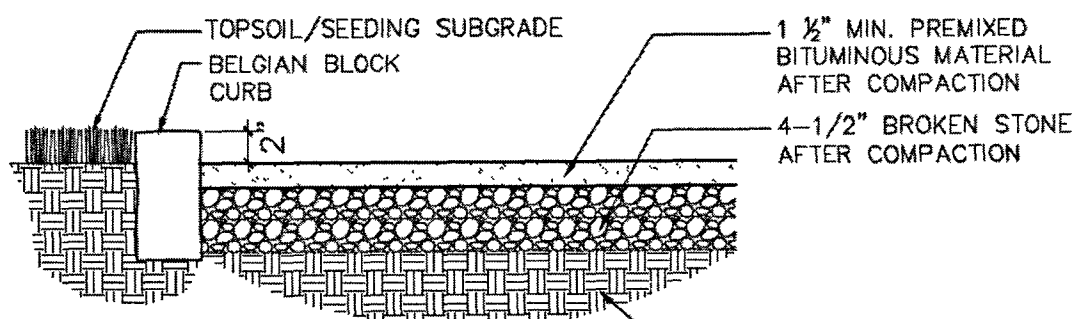
Architect:
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Tel: (516) 466-2674



REVISIONS 9/15/23
FOR PERMIT 7-7-22

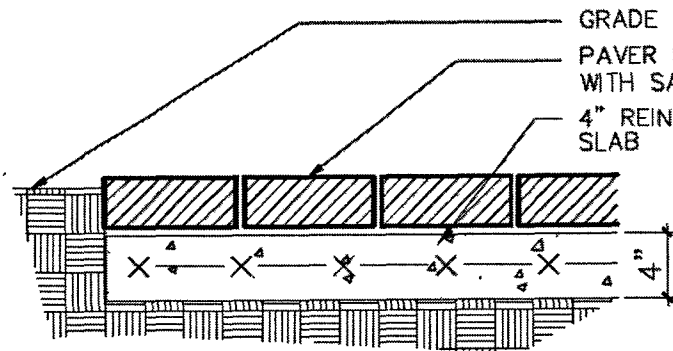
ENERGY CODE
COMPLIANCE NOTES
& TYPICAL DETAILS

A-8
CP 9



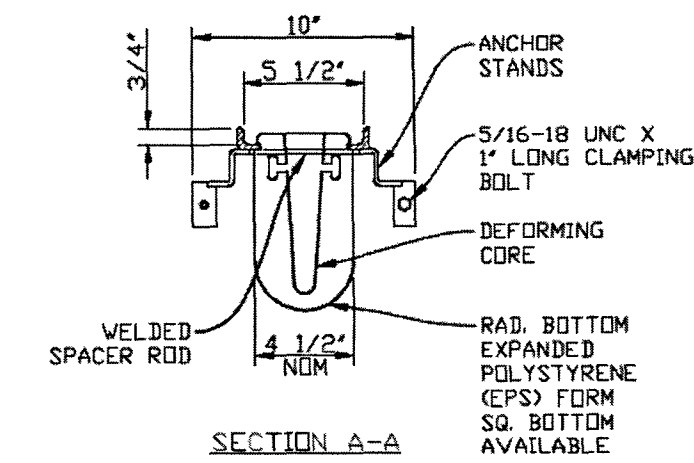
ASPHALT DETAIL

SCALE: 1" = 10'-0"

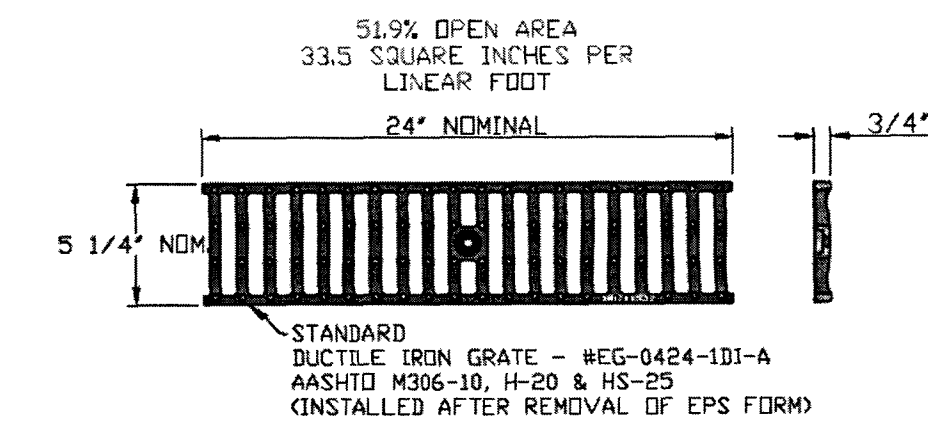


PAVER DETAIL

SCALE: 1" = 10'-0"

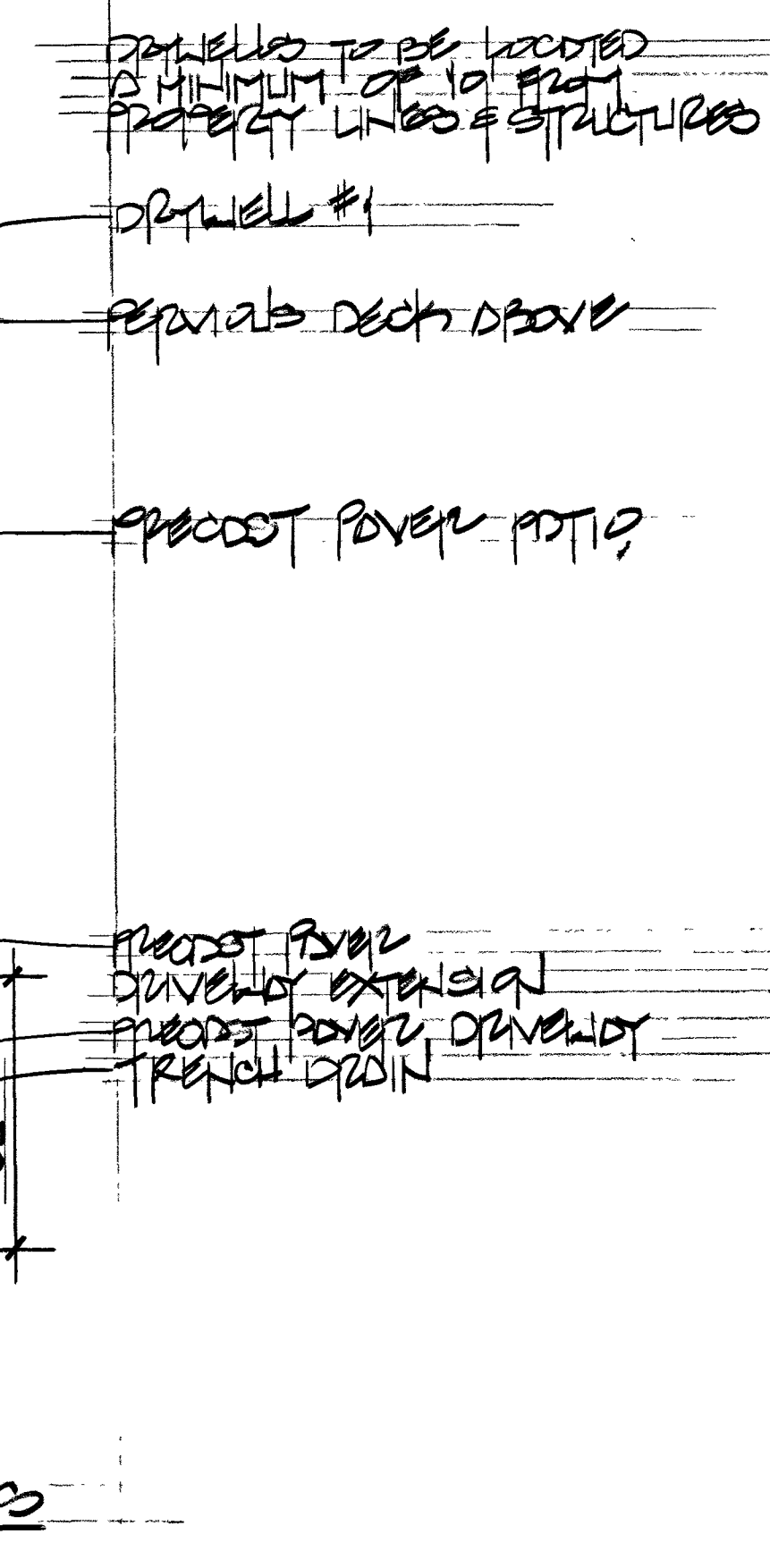
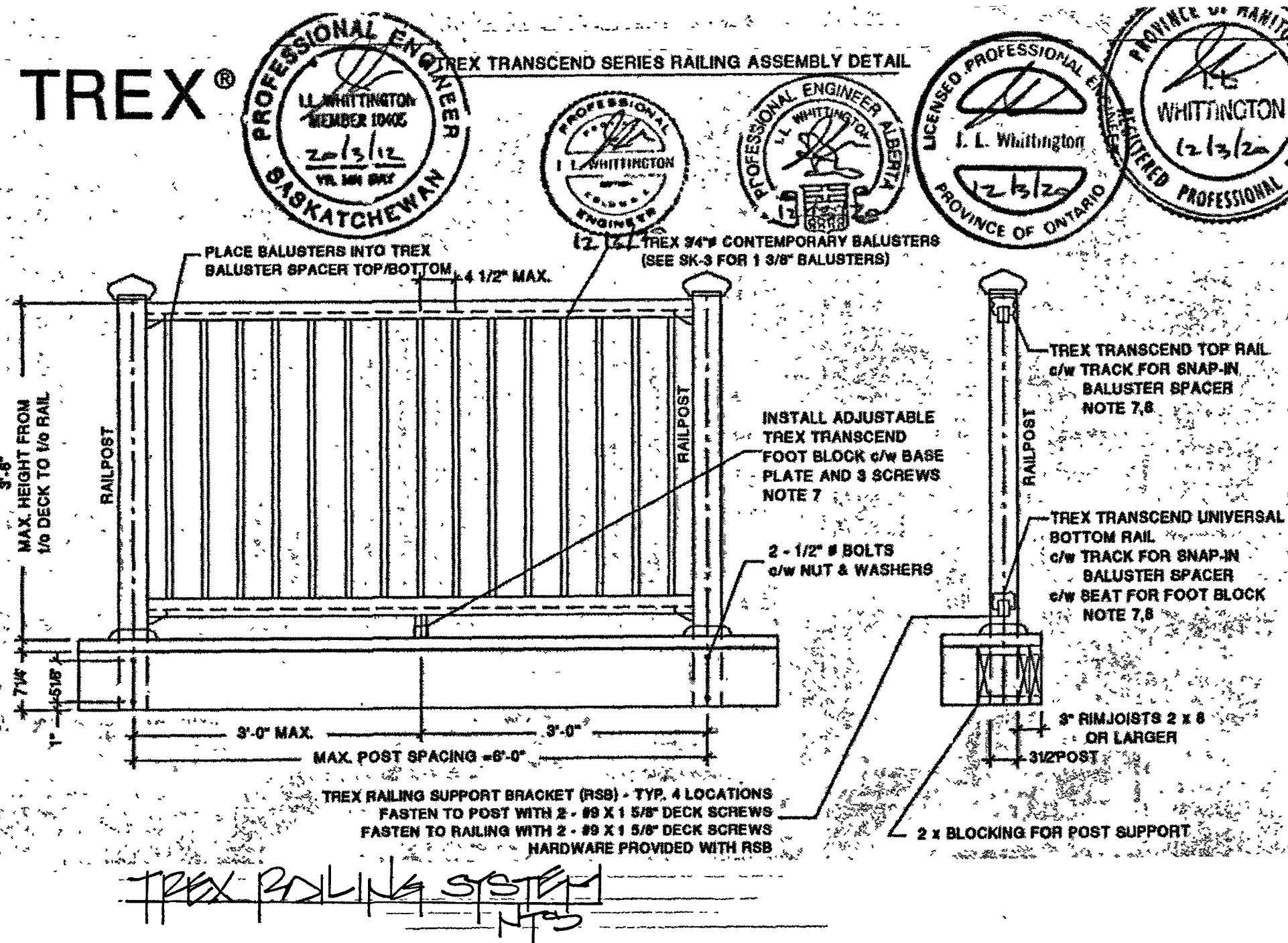


- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.
 2. A TRENCH SHALL BE EXCAVATED A MINIMUM OF 12" WIDER THAN THE OVERALL WIDTH OF THE STEEL FRAME (6" MINIMUM ON EACH SIDE) AND A MINIMUM OF 6 INCHES DEEPER THAN THE OVERALL DEPTH OF THE E-INDURAIN EPS FORM.
 3. DO NOT SCALE DRAWINGS.
- FINISH SPECIFICATION
- GRATE FRAME: BLACK POLYESTER POWDER COAT - STD. HOT DIP GALVANIZED - OPTIONAL
- TYPE 304 STAINLESS STEEL - OPTIONAL
- CAST GRATE: SHOP BLACK - STANDARD
- HOT DIP GALVANIZED - OPTIONAL



TRENCH DRAIN DETAILS

NTS.



	SF	%	COMMENT
LOT AREA	12,027		
MAXIMUM LOT COVERAGE	2,044	17%	
PROPOSED LOT COVERAGE	4,579	38%	VARIANCE REQUIRED
FRONT YARD AREA	2,985		
MAX PERMITTED FRONT YARD COVERAGE	746	25%	
PROPOSED FRONT YARD COVERAGE	1,316	44%	VARIANCE REQUIRED
COVERAGE COMPONENTS			
RESIDENCE	2,349		
PORCH & WALKWAYS	347		
DRIVEWAY	969		
SUBTOTAL - FRONT YARD	1,316		
DRIVEWAY EXTENSION	334		
PATIO	580		
TOTAL	4,579		

DRAINAGE CALCULATIONS:

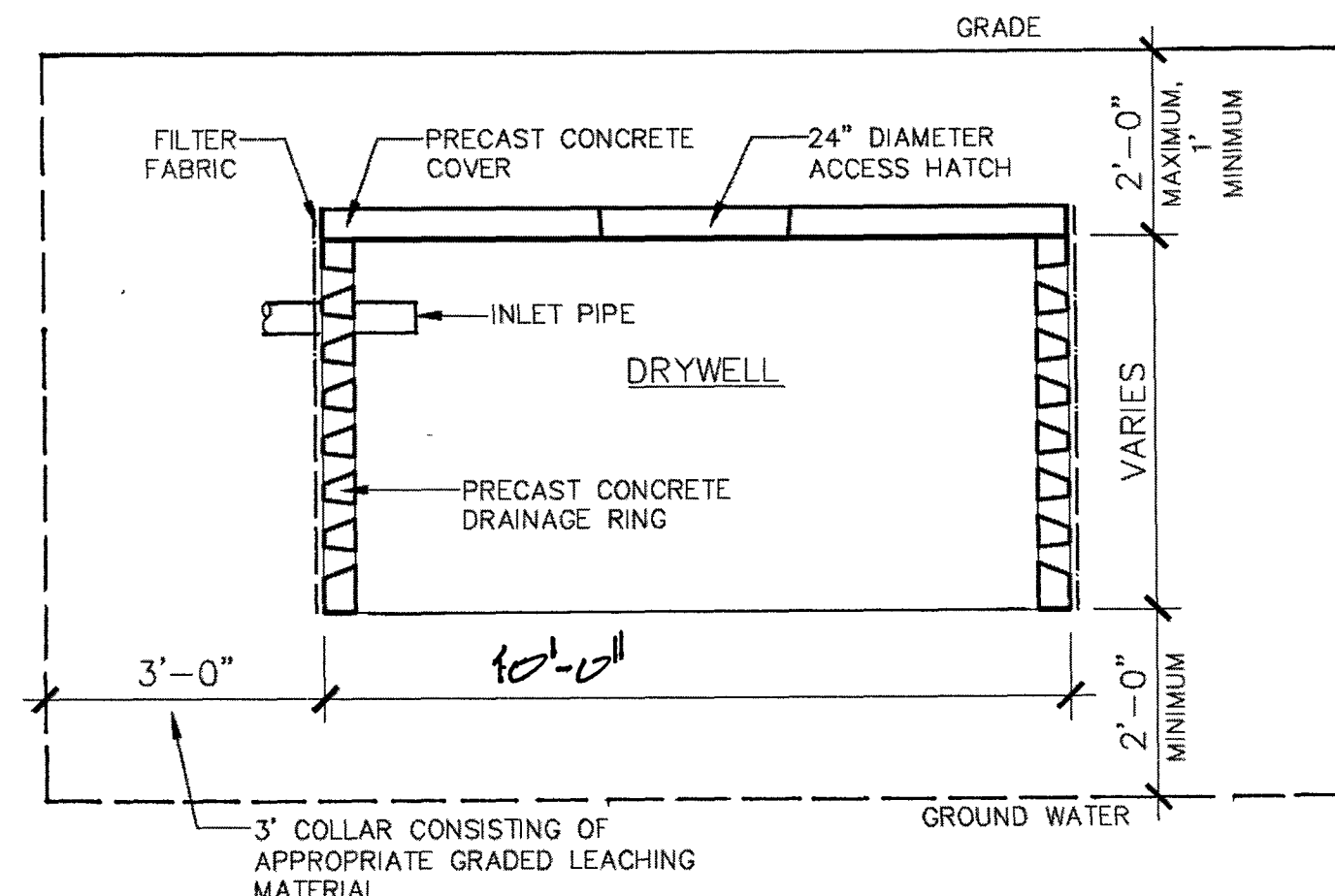
PATIO, PORCH, WALKWAY, DRIVEWAY & DRIVEWAY EXTENSION = 2,230 SQ. FT.

AREA X COEFFICIENT X INCHES OF RAIN = REQUIRED STORAGE

$2,230 \times 1.0 \times 3/12 = 558$ CU. FT.

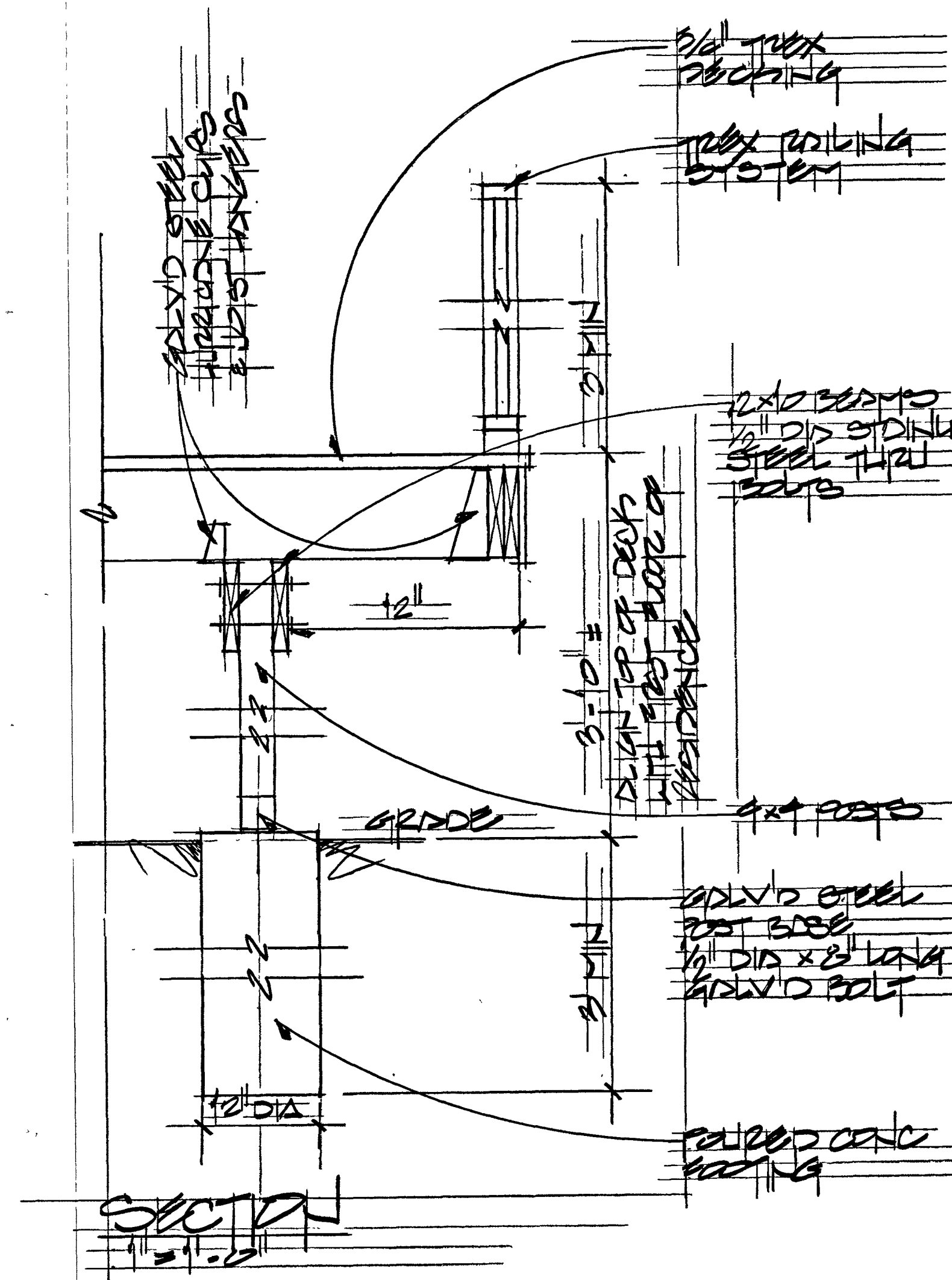
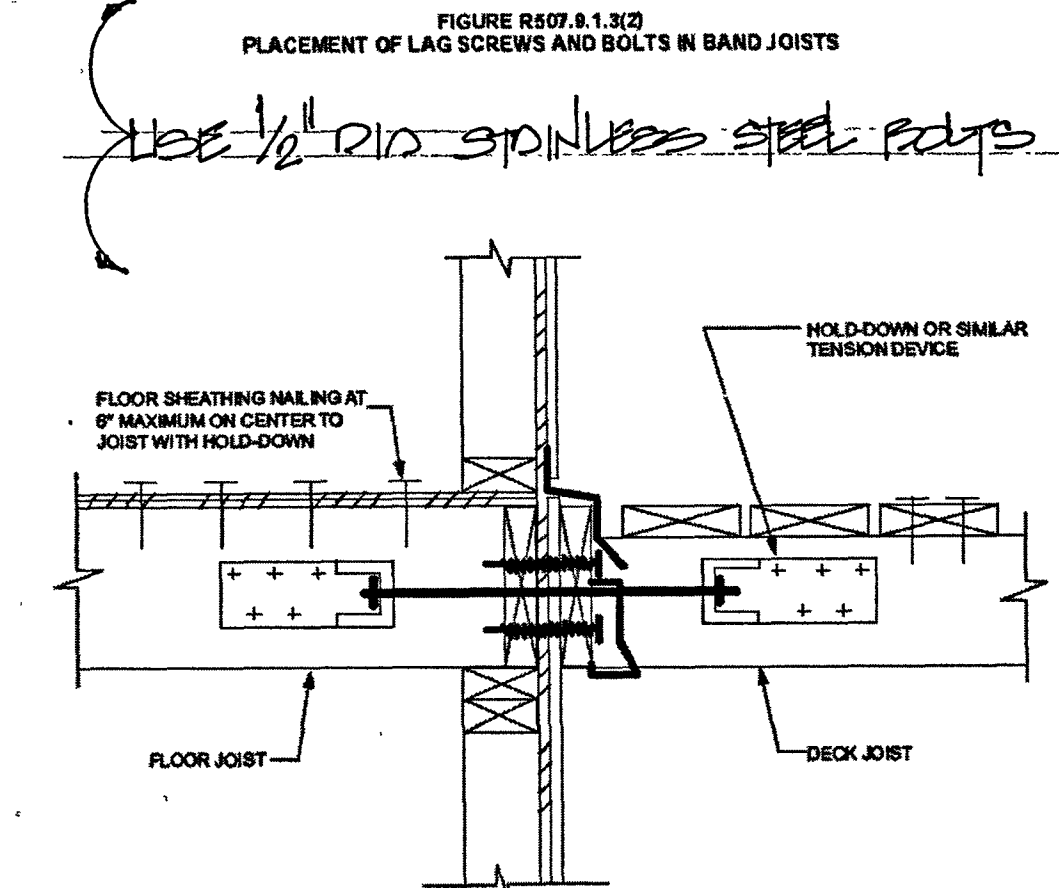
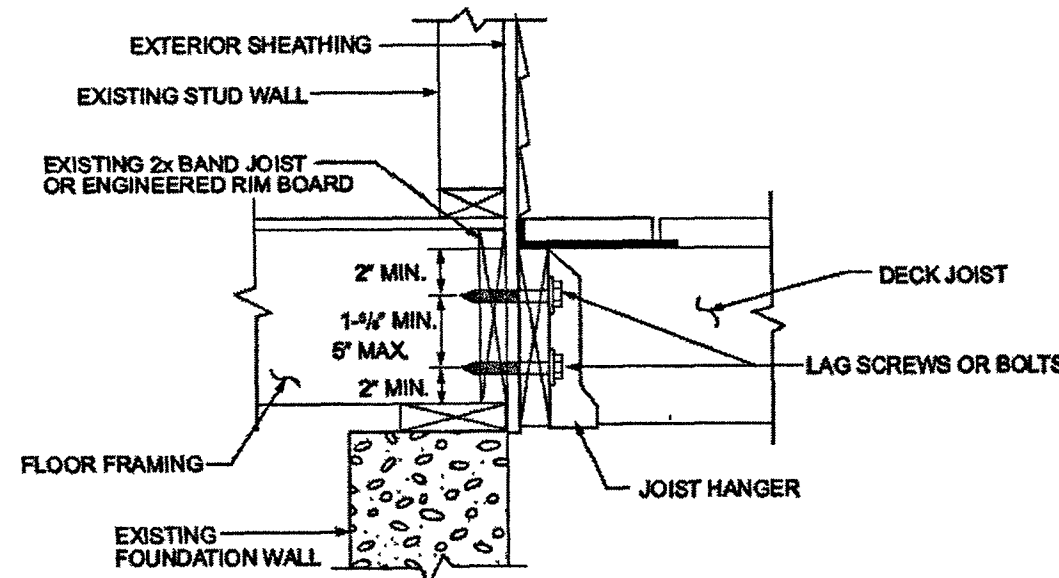
10' DIAMETER DRYWELL AT 4'-0" DEEP = 274 CU. FT.

$558 / 274 = 2.04 = \text{PROVIDE (2) 4' DEEP RINGS}$



DRYWELL DETAIL

SCALE: 1/2" = 1'-0"



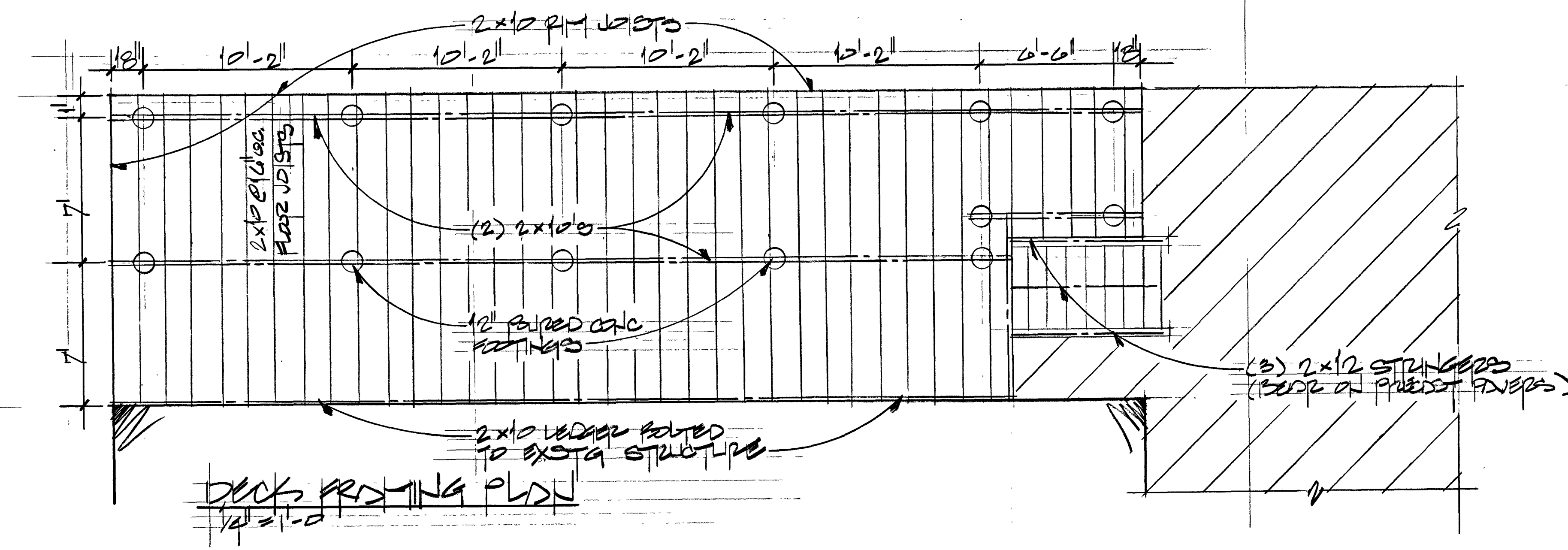
TRAINING NOTES

ALL LOADS SHALL BE PROVIDED TO RESIST DECK

PROVIDE ABOVE STEEL SUPPORTS

CLIP JOIST HANGERS & PIER CONNECTORS AS PER CONNECTION DETAILS ON D

10 OPEN RISERS - PROVIDE MIN 34\"/>



Project

Abraham Residence

31 North Clover Drive
Great Neck, NY 11021

Architect

Barbach & Associates

199C West Shore Road
Great Neck, NY 11024
(516) 466-2674

COVERED 9.15.23

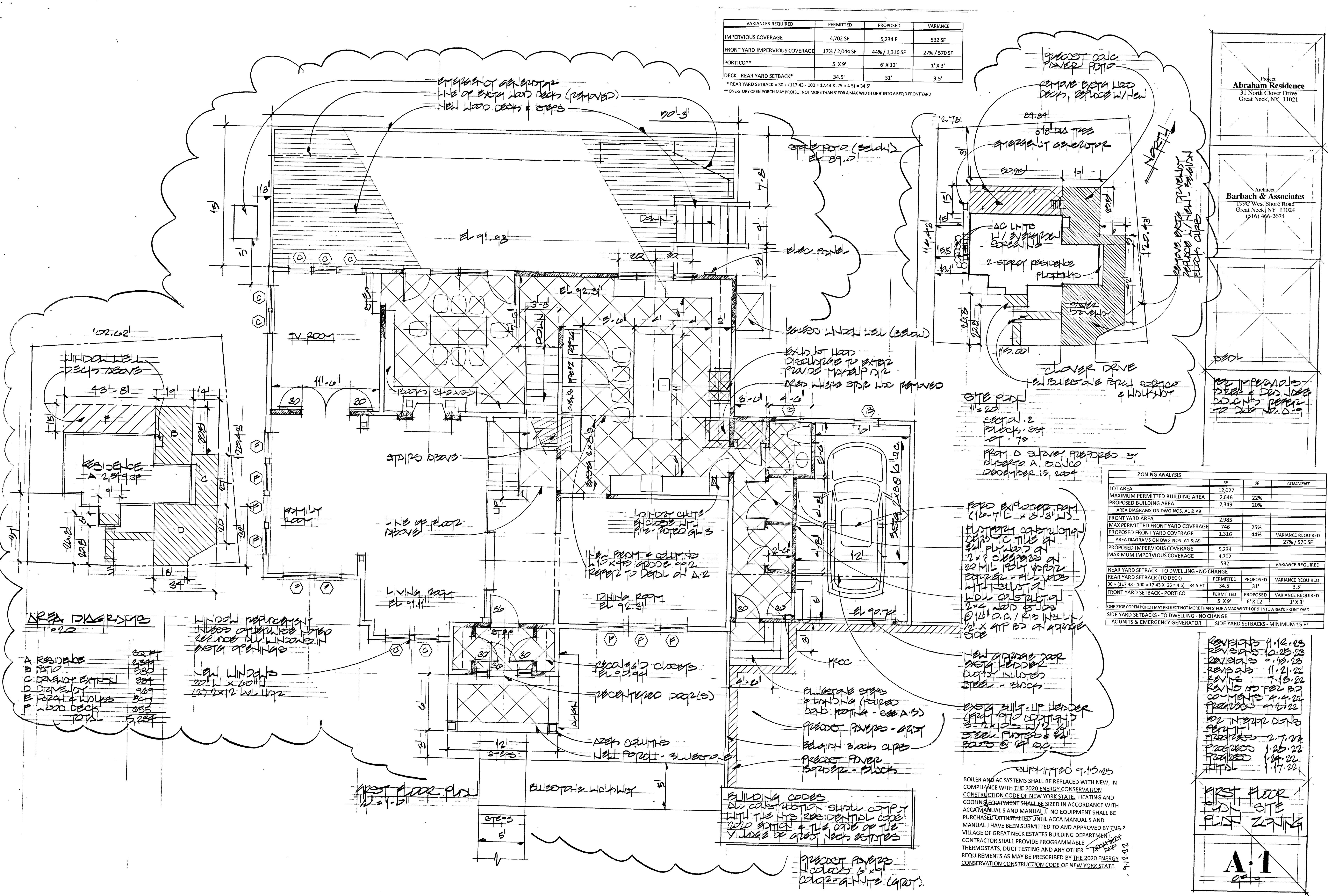
DECK RAILING PLAN SECTION & DETAILS

A.9

22 9

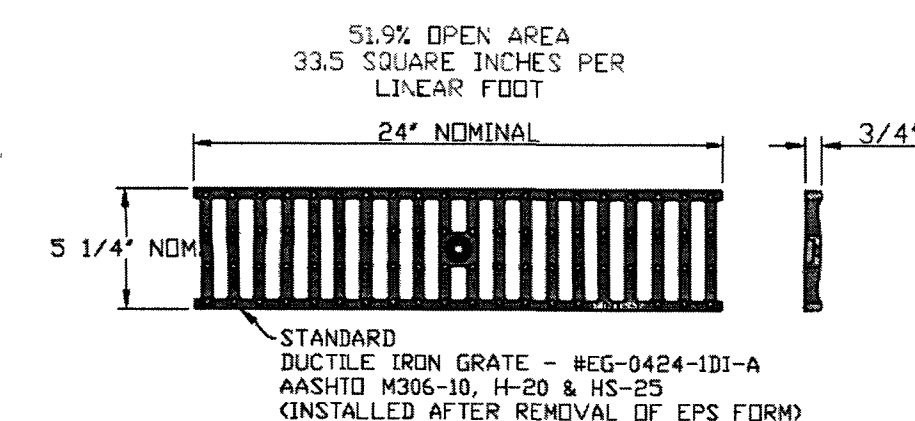
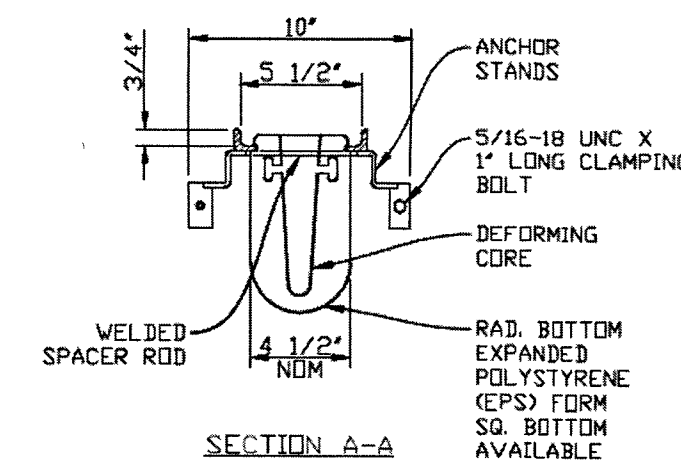
VARIANCES REQUIRED	PERMITTED	PROPOSED	VARIANCE
IMPERVIOUS COVERAGE	4,702 SF	5,234 F	532 SF
FRONT YARD IMPERVIOUS COVERAGE	17% / 2,044 SF	44% / 1,316 SF	27% / 570 SF
PORTICO**	5' X 9'	6' X 12'	1' X 3'
DECK - REAR YARD SETBACK*	34.5'	31'	3.5'

* REAR YARD SETBACK = $30 + (117.43 - 100 \div 17.43 \times 25 \div 4.5) = 34.5'$
 ** ONE-STORY OPEN PORCH MAY PROJECT NOT MORE THAN 5' FOR A MAX WIDTH OF 9' INTO A REQ'D FRONT YARD



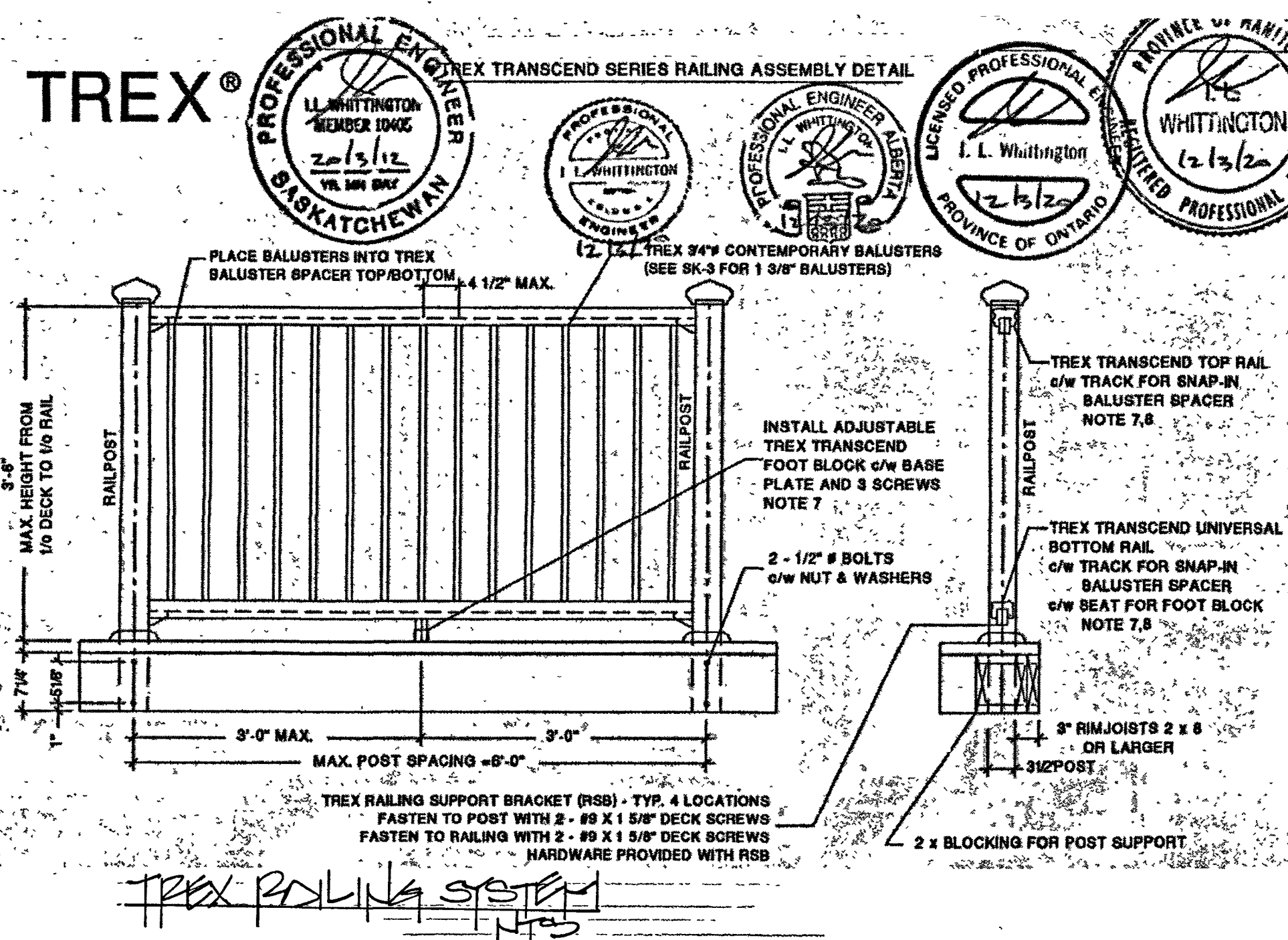
SCALE: 1" = 10'-0"

SCALE: 1" = 10'-0"

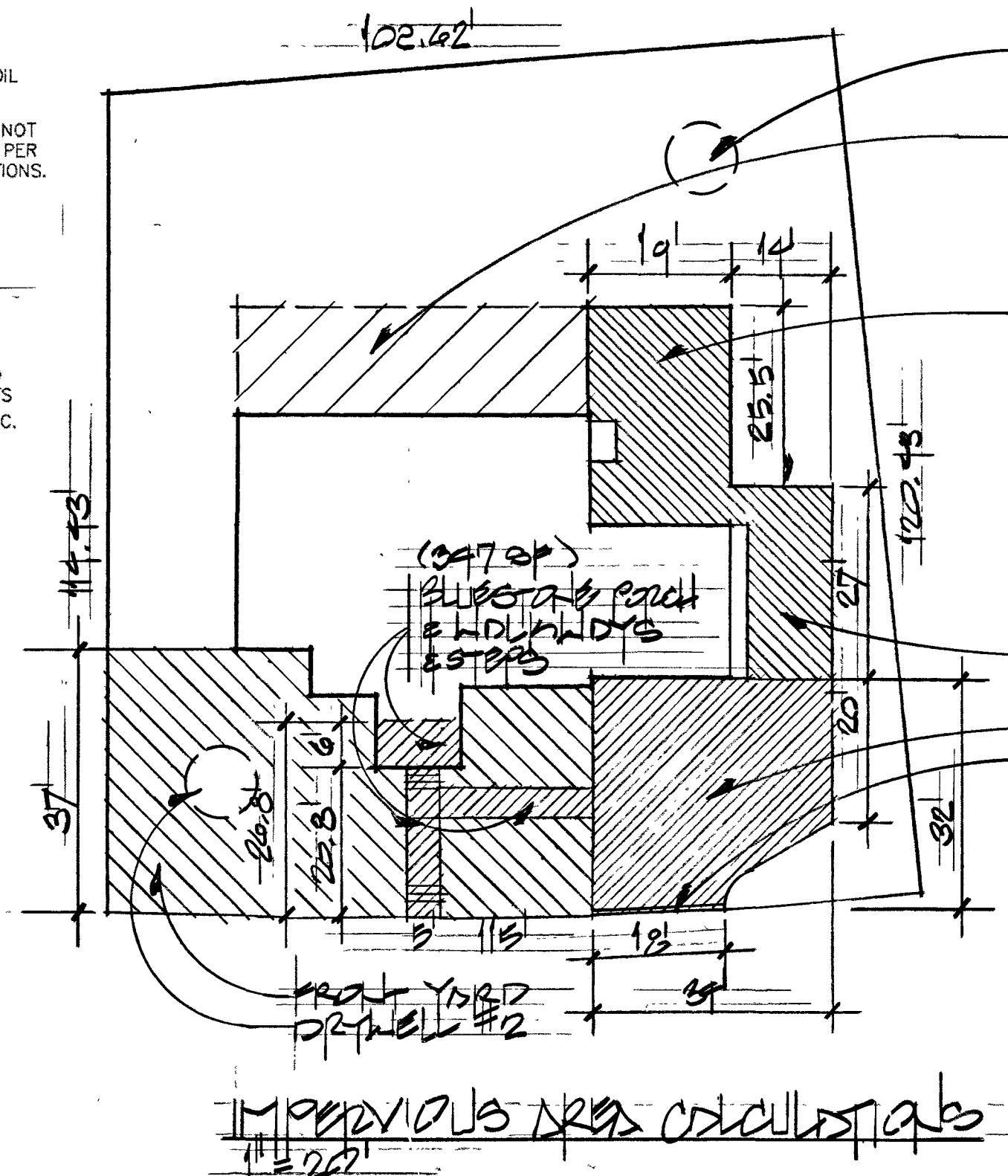


TRENCH DRAIN DETAILS

NTS.



PAVEMENTS TO BE LOCATED
A MINIMUM OF 10 FEET
PROPERLY LINES & STRUCTURES



Dr. Will #1

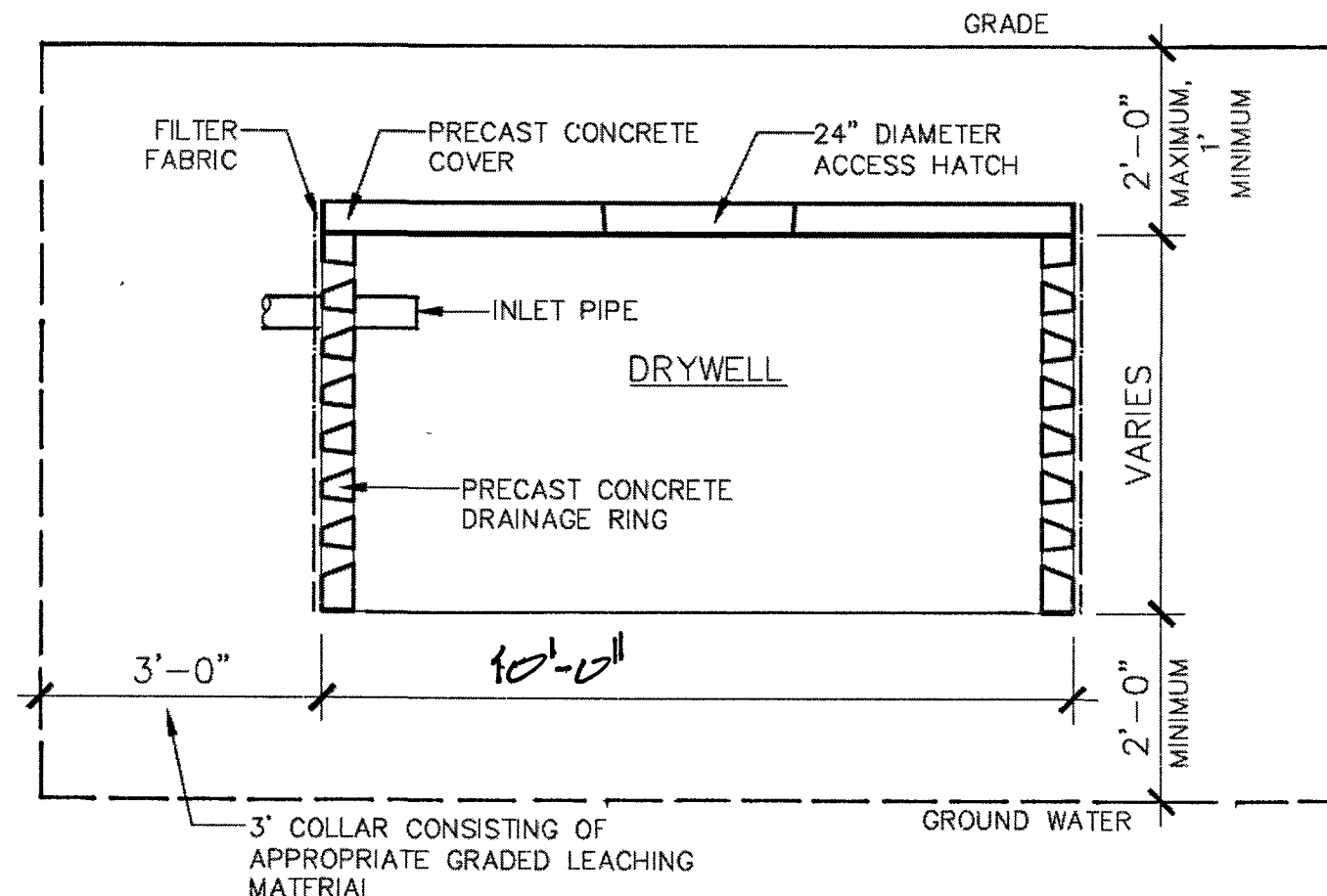
WORLD TECH ABOVE

PRODUCT POWER PPT 10
(HBO SE)

PROPOSED POWER
DRAINAGE EXTENSION (33'-SF)
PROPOSED POWER DRAINAGE (969-SF)
TRENCH DRAIN

DRAINAGE CALCULATIONS
PATIO, DECK, PORCH, WALKWAY, DRIVEWAY
& DRIVEWAY EXTENSION = 2,885 SQ FT
AREA X COEFFICIENT X INCHES OF RAIN = REQUIRED STORAGE
2,885 SQ FT X 1.0 X 3/12 = 722 SQ FT
10 FT DIAMETER DRYWELL AT 4 FT DEEP = 274 CU FT
722 / 274 = 2.6 = PROVIDE (2) 4 FT DEEP RINGS

ZONING ANALYSIS			
	SF	%	COMMENT
LOT AREA	12,027		
MAXIMUM PERMITTED BUILDING AREA	2,646	22%	
PROPOSED BUILDING AREA	2,349	20%	
AREA DIAGRAMS ON DWG NOS. A1 & A9			
FRONT YARD AREA	2,985		
MAX PERMITTED FRONT YARD COVERAGE	746	25%	
PROPOSED FRONT YARD COVERAGE	1,316	44%	VARIANCE REQUIRED
AREA DIAGRAMS ON DWG NOS. A1 & A9			27% / 570 SF
PROPOSED IMPERVIOUS COVERAGE	5,234		
MAXIMUM IMPERVIOUS COVERAGE	4,702		
	532		VARIANCE REQUIRED
REAR YARD SETBACK - TO DWELLING - NO CHANGE			
REAR YARD SETBACK (TO DECK)	PERMITTED	PROPOSED	VARIANCE REQUIRED
30' + (117.43 - 100 = 17.43 X 25 = 45) = 34.5 FT	34.5'	31'	3.5'
FRONT YARD SETBACK - PORTICO			
	PERMITTED	PROPOSED	VARIANCE REQUIRED
	5' X 9'	6' X 12'	1' X 3'
ONE-STORY OPEN PORCH MAY PROJECT NOT MORE THAN 5' FOR A MAX WIDTH OF 9' INTO A REQ'D FRONT YARD			
SIDE YARD SETBACKS - TO DWELLING - NO CHANGE			
AC UNITS & EMERGENCY GENERATOR		SIDE YARD SETBACKS - MINIMUM 15 FT	



DRYWELL DETAIL

SCALE: 1/2" = 1'-0"

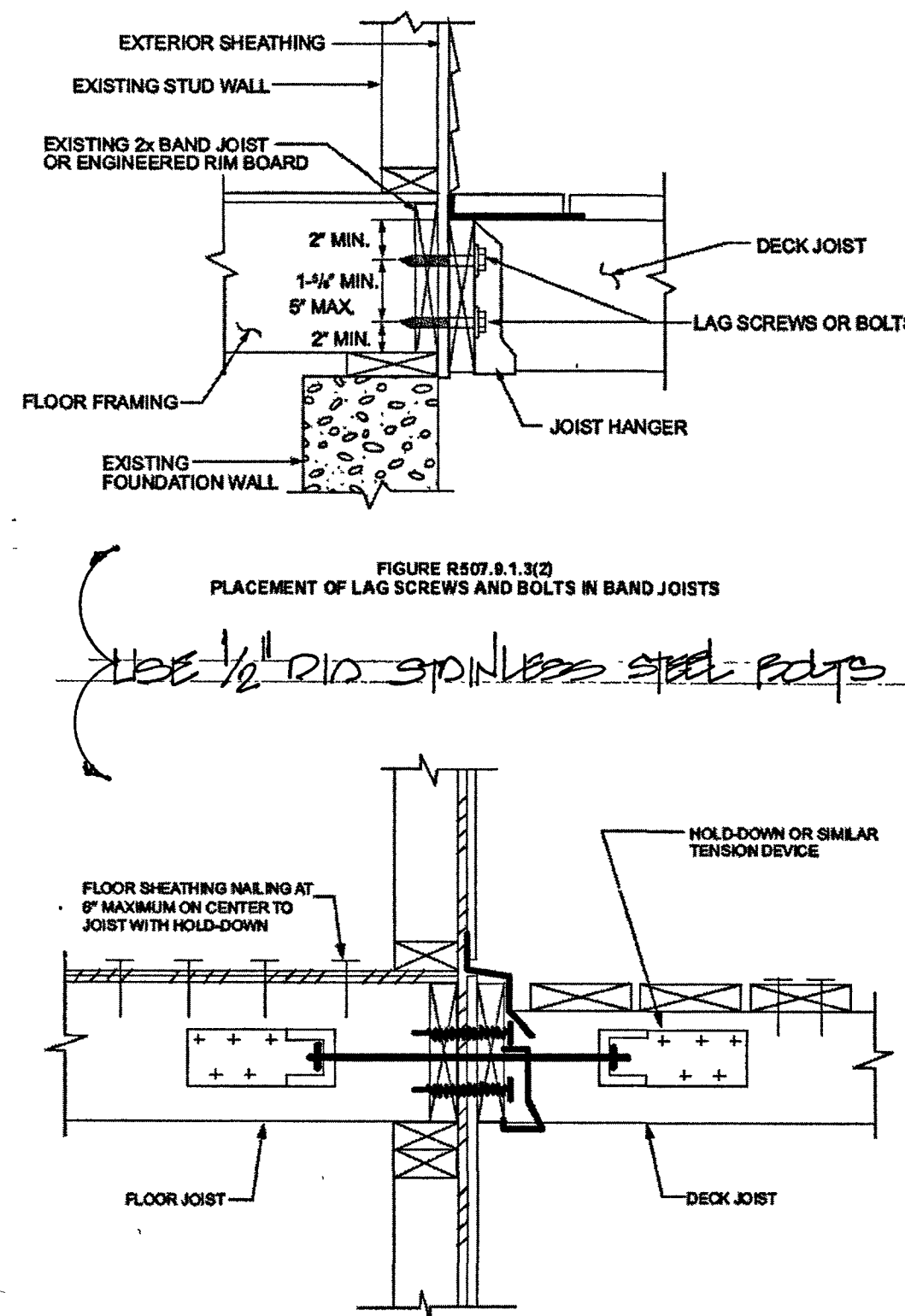
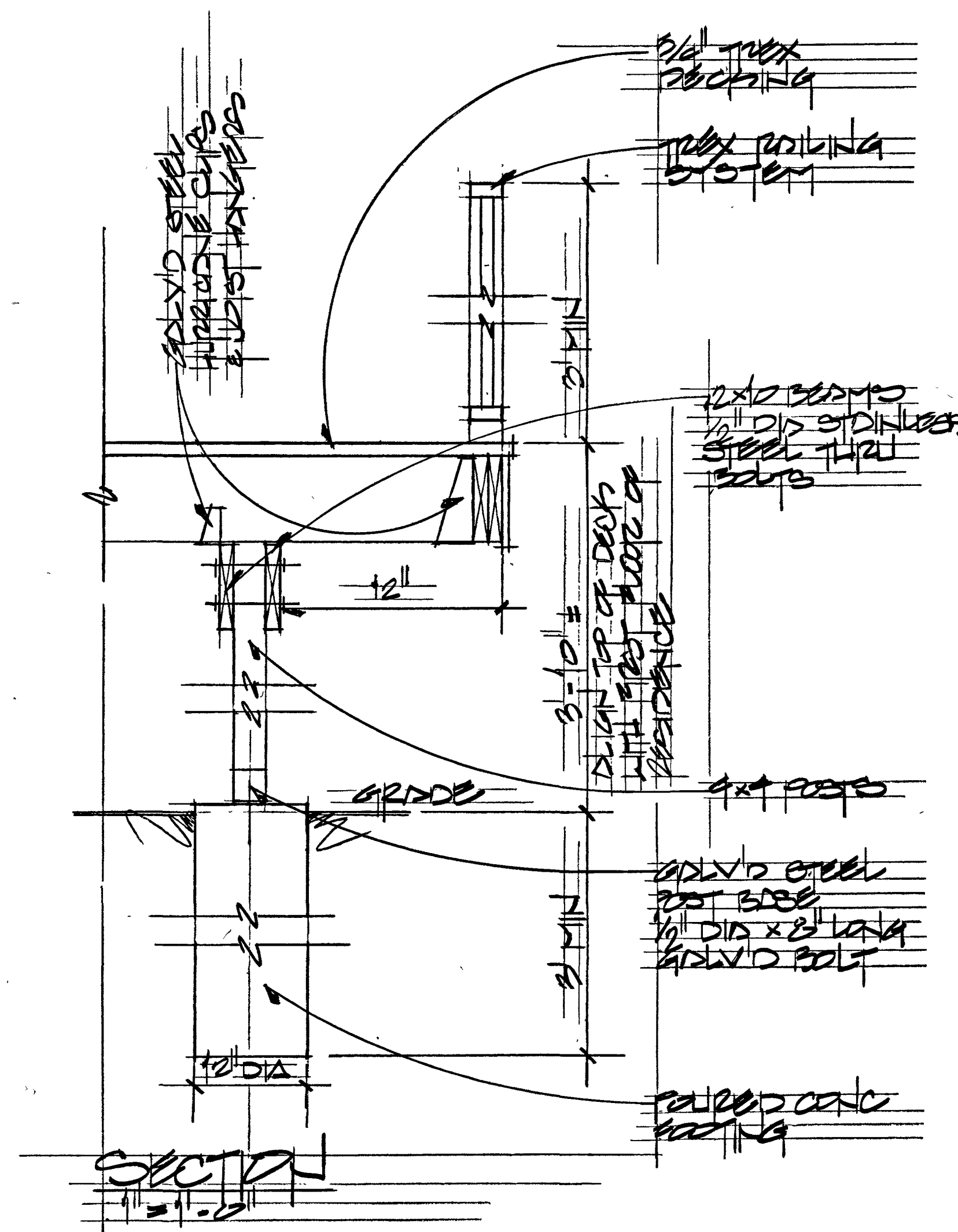
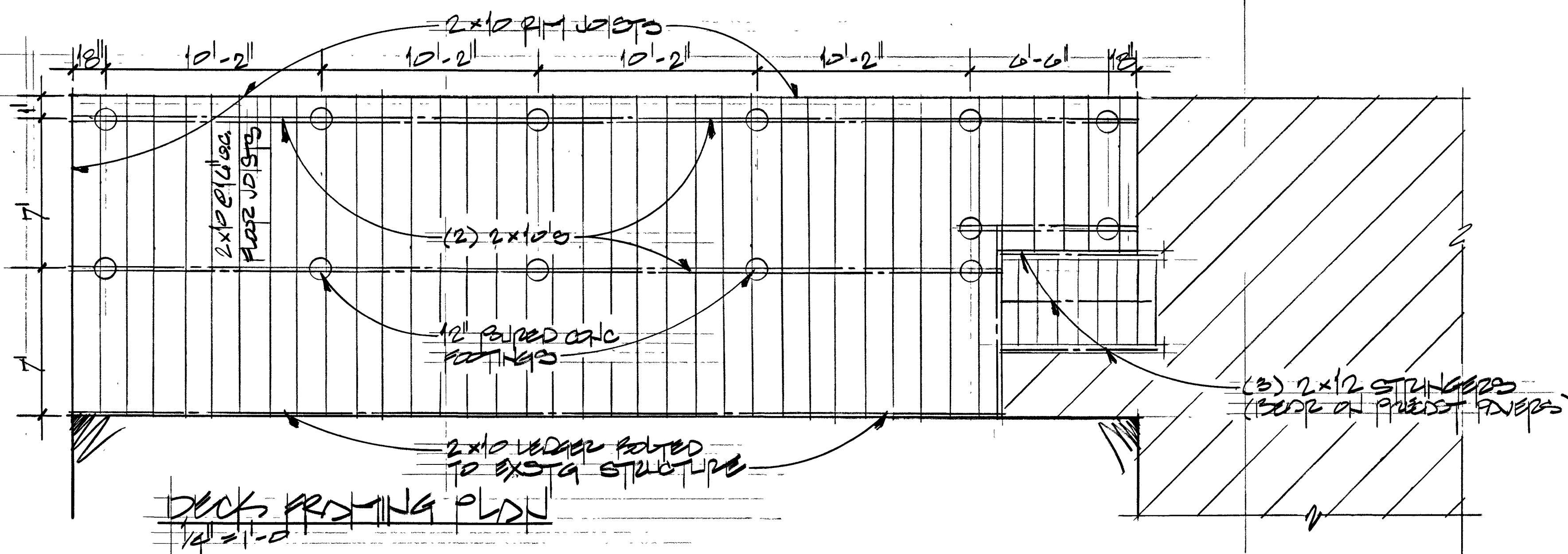


FIGURE R507.9.2(1)
DECK ATTACHMENT FOR LATERAL LOADS



- FRAMING NOTES
- ALL WOOD SHALL BE PRESSURIZED TREATED - TO RESIST DECAY
- PROVIDE 2x4x10 STEEL W/ WELDED CLIPS, JOIST HANGERS & PER CONNECTORS AS PER CCH HAZOPC DETAILS ON D.
- 12 OPEN RISERS - PROVIDE MIN 3/4" KICK PLATES
- TRAX ROLLING SYSTEM - PROVIDE INTERMEDIATE SUPPORTS AS PER MANUFACTURER - 2x10x12x20 SPACED TO BE 5' ON C & 5' HIGHER TO PASS THROUGH



Project
Abraham Residence
31 North Clover Drive
Great Neck, NY 11021

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REVISED 11.12.23
REVISED 10.25.23
REVISED 9.15.23

DECK RAISING
PLAN SECTION
DEDS

A. 9

CAUTION: BEFORE PERFORMING ANY DIGGING OR DRILLING ON THIS SITE, IT IS REQUIRED THAT SUBSURFACE SERVICES, INCLUDING THE UNDERGROUND MAINS BE MARKED AND IDENTIFIED BY THE UTILITY INVOLVED IN COMPLIANCE WITH INDUSTRIAL CODE 53 OF NEW YORK STATE.

- 1) ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88B).
- 2) LEGAL GRADES (NAV88B) REFER TO CENTER OF RIGHT WAY IN QUEENS: FOR MANHATTAN, BRONX, BROOKLYN & RICHMOND REFER TO CURB LINE TAKEN AT PROJECTION OF PROPERTY LINE.
- 3) UNDERGROUND UTILITY INFORMATION SHOWN WAS OBTAINED FROM VARIOUS COMPANIES AND CITY AGENCIES AND IS NOT GUARANTEED FOR ACCURACY OR COMPLETENESS.
- 4) THIS IS TO CERTIFY THAT THERE ARE NO APPARENT STREAMS, NATURAL WATER COURSES IN THE PROPERTY AS SHOWN ON THIS SURVEY.

SURVEY PREPARED FOR

AAA GROUP
INFO@AAAGROUPONLINE.COM
 TEL. (718) 387-9800 , FAX 384-5050



**STATEWIDE
LAND
SURVEYING P.C.**

16 Flagg Pl., Staten Island, NY 10304

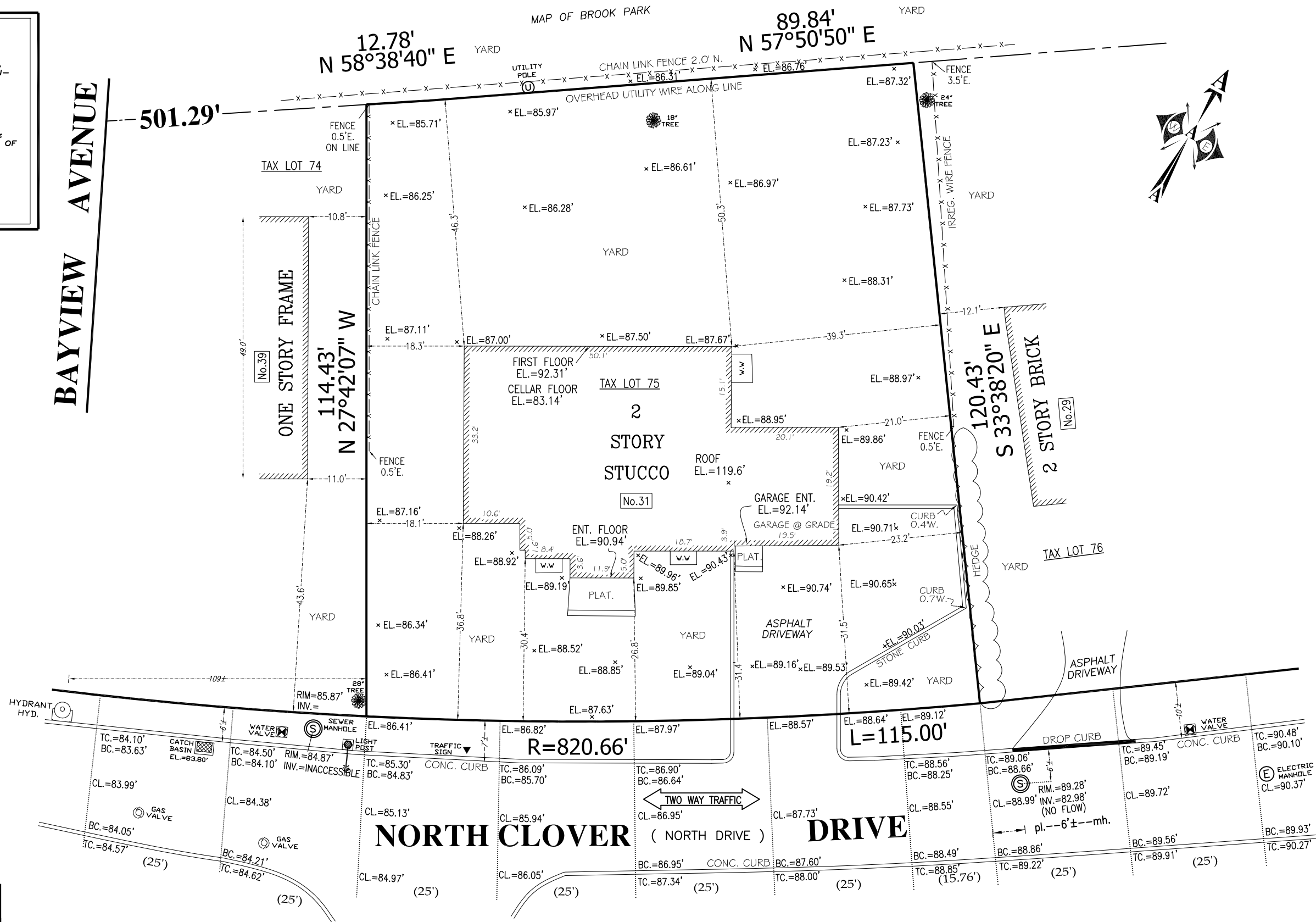
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY. GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATION ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

SURVEYED :
OCTOBER 11, 2023

UPDATED :
UPDATED :

SCALE: 1"=20'

BLOCK:	354
LOT(s):	75
SECTION:	2
COUNTY:	NASSAU
DWG BY:	AAA-Y.L



LOT AREA CALCULATION

AREA= 12,890.25 SQ. FT.
= 0.2959 ACRE

NOTICE

PLEASE TAKE NOTICE that a meeting will be held as to the following matter:

Agency: Board of Appeals
Village of Great Neck Estates
Date: September 21, 2023
Time: 8:00 p.m.
Place: Village Hall, 4 Atwater Plaza, Great Neck, New York

Subject: Application of Philip Sutter, 3300-34 Park Avenue, Wantagh, New York, as agent for Manouchehr and Rita Ashourzadeh, 35 Laurel Drive, Great Neck Estates, New York, to construct a swimming pool, pergola, barbecue and patio, which construction requires variances of the following Village Code sections: (a) 230-7(F) and 230-30, to permit the pool walkway to be 25 feet from the rear property line, where a minimum setback of 30 feet is required, (b) 230-7(F), to permit the fire pit, pizza oven, sink and barbecue on the raised patio to be 20.01 feet from the rear property line, where a minimum setback of 30 feet is required, and (c) 230-39, to permit impervious surface coverage of 11,178.37 square feet, where a maximum of 8,960 square feet is permitted. Premises are designated as Section 2, Block 374, Lot 22 on the Nassau County Land and Tax Map.

At the said time and place, all interested persons may be heard with respect to the foregoing matters.

Any person having a disability which would inhibit attendance at or participation in the hearing should notify the Village Clerk at least three business days prior to the hearing, so that reasonable efforts may be made to facilitate such attendance and participation.

All relevant documents may be inspected at the office of the Village Clerk, 4 Atwater Plaza, Great Neck Estates, New York, during regular business hours.

Dated: August 2, 2023

BY ORDER OF THE BOARD OF APPEALS

Jerry Siegelman, Chair