

VILLAGE OF GREAT NECK ESTATES

Zoning Board of Appeals

Agenda

**Thursday
February 15, 2024
8:00pm**

Case #

**#9-2023
Abraham**

Address

31 North Clover Dr

**Variances to construct an entry
portico, new paver patio, deck and
enlarged driveway**

NOTICE

PLEASE TAKE NOTICE that a meeting will be held as to the following matter:

Agency: Board of Appeals
Village of Great Neck Estates
Date: February 15, 2024
Time: 8:00 p.m.
Place: Village Hall, 4 Atwater Plaza, Great Neck, New York

Subject: Case #9-2023 Application of Robert Barbach, 199C West Shore Road, Great Neck, New York, as agent for Shalom Isaac and Elita Abraham, 31 North Clover Drive, Great Neck Estates, New York, to construct an entry portico, new paver patio and deck and enlarge a driveway, which construction requires variances of the following Village Code sections: (a) 230-21(A)(5) in that the front entry portico will be 12 feet wide and project 6 feet into the front yard setback, where a portico may be no wider than 9 feet and project into the front yard setback no further than 5 feet, (b) 230-39, in that the front yard impervious surface coverage will be 44%, where a maximum of 25% coverage is permitted, (c) 230-39, in that the total impervious surface coverage will be 5,234 square feet, where a maximum of 4,702 square feet is permitted, (d) 230-8(F), in that the deck will be 31 feet from the rear property line, where a minimum of 34.5 feet is permitted, and (e) 230-61(B), in that the front yard portico construction exacerbates and increases the degree of an existing non-conformity, where no such increase is permitted. Premises are designated as Section 2, Block 354, Lot 75 on the Nassau County Land and Tax Map.

At the said time and place, all interested persons may be heard with respect to the foregoing matters.

Any person having a disability which would inhibit attendance at or participation in the hearing should notify the Village Clerk at least three business days prior to the hearing, so that reasonable efforts may be made to facilitate such attendance and participation.

All relevant documents may be inspected at the office of the Village Clerk, 4 Atwater Plaza, Great Neck Estates, New York, during regular business hours.

Dated: January 22, 2024

BY ORDER OF THE BOARD OF APPEALS

David Eshaghoff, Chair

BOARD OF (APPEALS) (TRUSTEES)

-----X
IN THE MATTER OF THE APPLICATION OF

APPLICATION

to the Board of (Appeals) (Trustees)
of the Village of Great Neck Estates.
-----X

1. Name of applicant: ROBERT FARRACH
2. Applicant's address: 199 C WEST SHORE ROAD,
GREAT NECK, NY 11029
3. If the applicant is not an owner of the property which is the
subject of this application, state the relationship of the
applicant to the owner(s):
ARCHITECT
4. The property which is the subject of this application is
located at: 31 NORTH CLOVER DRIVE, Great Neck
Estates, N. Y. and is also known as Section 2, Block 2524
Lot(s) 175 on the Nassau County Land and Tax Map.
5. The full name and residence address of all owners of the
property (if applicant is not the sole owner) is:
MR. & MRS. LOUISE ABRAM
31 NORTH CLOVER DRIVE
GREAT NECK, NY 11021
6. The property is located in the Res B zoning district of the
Village of Great Neck Estates.

7. The subject property is located on the ~~North~~ side of
NORTH CLOVER DRIVE (street).
8. The date on which the owner(s) acquired the property was
12/31/21.
9. The approximate dimensions of the property are 102.62/115 feet
120.43/114.43 by feet, and the total acreage of property is 0.29
acres.
10. The property is presently used for SINGLE - FAMILY
RESIDENCE.
11. Are there existing buildings on the property? YES If so,
of what type of construction WOOD FRAME
12. The present assessed valuation of the property is:
Land \$609,500 Building(s) \$1,513,975
13. Are there any outstanding village taxes on the property?
No If so, for what years?
14. The applicant or owner(s) wish to make use of the property
for the purpose of: SINGLE - FAMILY RESIDENCE
15. The Building Department of the Village of Great Neck Estates
denied an application for said proposed use on N/A
16. The proposed use of the property violates the following
sections of the Village Code: N/A

17. This is an application for:

_____ an appeal

☒ ~~a~~ variance

_____ a special permit

_____ other(describe): _____

18. The following sections of the Village Code provide that the Board of (Appeals) (Trustees) has authority to grant the relief requested in this application: 230-67

19. Description of the problem, or reasons for this application, which constitute practical difficulty or unnecessary hardship which justifies the relief sought in this application:

(Note to Applicant - this information is particularly important, and must constitute a complete statement of the grounds for the relief which you are seeking. You may use additional sheets of paper if necessary to provide a complete response)

THE OWNER HAS A LARGE FAMILY AND OWNS MULTIPLE VEHICLES. AS A RESULT, THEY SEEK A DECK, PATIO & DRIVEWAY WHICH EXCEED THE REAR YARD SETBACK & MAXIMUM PERMITTED IMPERVIOUS SURFACE COVERAGE.

20. Has any previous application been made to the Board of (Appeals) (Trustees) for the relief sought in this application, or relief similar to that sought in this application? NO If so, attach a description of each such prior application, including the date the application was

made, the date of the determination by the Board of (Appeals) (Trustees), and a summary of the determination by the Board of (Appeals) (Trustees).

21. Has any previous application been made to the Board of (Appeals) (Trustees) for any other relief with respect to the property which is the subject of this application? NO

If so, attach a description of each such prior application, including the date the application was made, the date of the determination by the Board of (Appeals) (Trustees), and a summary of the determination of the Board of (Appeals) (Trustees).

22. Are there any outstanding violation notices affecting the subject premises? NO

23. Are there any pending court proceedings involving the subject premises? NO

24. The undersigned applicant states under penalty of perjury that the foregoing statements and information, and all statements and information contained in papers submitted herewith, are true.

Name of applicant: Robert E. Brown

Signature of applicant: [Signature]

Title of signatory: ARCHITECT

Date: 11.28.23

BOARD OF (APPEALS) (TRUSTEES)
VILLAGE OF GREAT NECK ESTATES

-----X

In the Matter of the Application of

DISCLOSURE

AFFIDAVIT

General Municipal Law
Section 809

-----X

STATE OF NEW YORK)

ss:

COUNTY OF NASSAU)

Robert French, being duly sworn, deposes and says:

1. I am the (applicant with respect to) (owner of the premise which are the subject of) the attached application.
2. I make this affidavit for the purposes of complying with the requirements of General Municipal Law Section 809.
3. No officer of the State of New York, and no officer or employee of the County of Nassau, the Town of North Hempstead or the Village of Great Neck Estates, and no party officer of any political party, has an interest in the attached application within the meaning of General Municipal Law Section 809, except as stated hereinafter **(if none, state "NONE" below):**

<u>Name</u>	<u>Address</u>	<u>Position</u>	<u>Nature of Interest</u>
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Robert French
Signature

Sworn to before me this 30th
day of November 2023

Linda A. Kropacek
Notary Public

LINDA A. KROPACEK
Notary Public, State of New York
No. 01KR6187256
Qualified in Nassau County
Commission Expires May 19, 2024

BOARD OF (APPEALS) (TRUSTEES)
VILLAGE OF GREAT NECK ESTATES

-----X

In the Matter of the Application of

DISCLOSURE

AFFIDAVIT

General Municipal Law
Section 809

-----X

STATE OF NEW YORK)

ss:

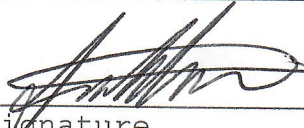
COUNTY OF NASSAU)

Shalom Isaac Abraham, being duly sworn, deposes and says:

1. I am the (applicant with respect to) owner of the premise which are the subject of) the attached application.
2. I make this affidavit for the purposes of complying with the requirements of General Municipal Law Section 809.
3. No officer of the State of New York, and no officer or employee of the County of Nassau, the Town of North Hempstead or the Village of Great Neck Estates, and no party officer of any political party, has an interest in the attached application within the meaning of General Municipal Law Section 809, except as stated hereinafter **(if none, state "NONE" below)**:

<u>Name</u>	<u>Address</u>	<u>Position</u>	<u>Nature of Interest</u>
-------------	----------------	-----------------	---------------------------

None


Signature

Sworn to before me this 5th
day of December 2023.

ATR
Notary Public

ALBERT TAHALOV
Notary Public, State Of New York
No. 01TA6067093
Qualified in Queens County
Commission Expires Dec. 3, 2025

AFFIDAVIT OF PROPERTY OWNER/AUTHORIZATION

All Owners must sign either as owner or applicant

State of New York)

SS:

County of Nassau)

(I)(We), SHALOM
BOAZ ABRAHAM being duly sworn, state:

Complete Items #1, 2 or 3 as applicable, then Item #4

(1) (I am) (We are) the owner(s) of the property described in this application known as
31 NORTH CLOVER DRIVE, and described on the Nassau County
Land and Tax Map as Section 2, Block 354, Lot(s) 75.

☒ If the applicant is a corporation, the deponent is an officer thereof, to wit the
_____, and is authorized by the Board of Directors of the
corporation to execute this application on behalf of the corporation.

☒ If the applicant is a partnership, the deponent, _____ is a
general partner thereof, and has authority to execute this application in the name of
the partnership.

(4) (I) (We) hereby authorize ROBERT BARBACH to submit
this application.

[Signature]
Signature of Owner

Elite Abraham
Signature of Owner

Sworn to before me this 5th day
of December 20 23.

[Signature]
Notary Public

ALBERT TAHALOV
Notary Public, State Of New York
No. 01TA6067093
Qualified in Queens County
Commission Expires Dec. 3, 2025

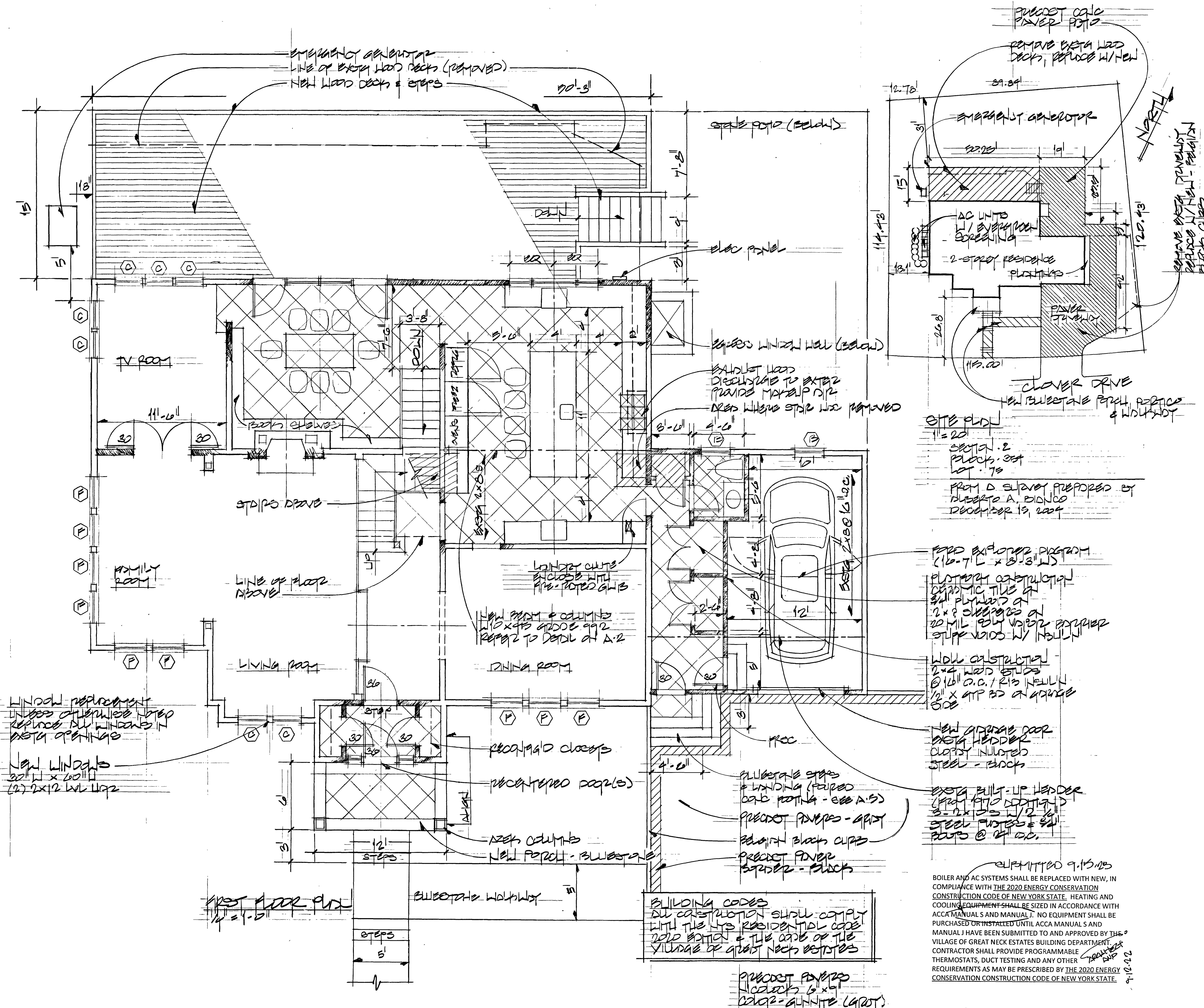
ALL STATEMENTS CONTAINED IN THIS APPLICATION ARE TRUE
TO THE BEST OF MY KNOWLEDGE AND BELIEF

Signature of Applicant

Sworn to before me this _____ day
of _____ 20 ____.

Notary Public

FALSE STATEMENTS MADE HEREIN ARE PUNISHABLE AS A CLASS 'A' MISDEMEANOR
PURSUANT TO SECTION 210.45 OF THE PENAL LAW OF THE STATE OF NEW YORK



Project
Abraham Residence
31 North Clover Drive
Great Neck, NY 11021

Architect
Barbach & Associates
199C West Shore Road
Great Neck, NY 11024
(516) 466-2674

NO IMPROVEMENTS
DECK & DECKING
ADDENDUM REFER
TO DRAWING D-9

REVISIONS
9.15.23
REVISIONS 11.21.22
REVISED 7.15.22
REVISED FOR 2023
COMMENTS 4.4.22
PREPARED 4.15.22
BY INTERIOR DESIGN
PERMIT
PREPARED 2.7.22
PREPARED 1.25.22
PREPARED 1.14.22
FINAL 1.17.22

FIRST FLOOR
PLAN SITE
PLAN

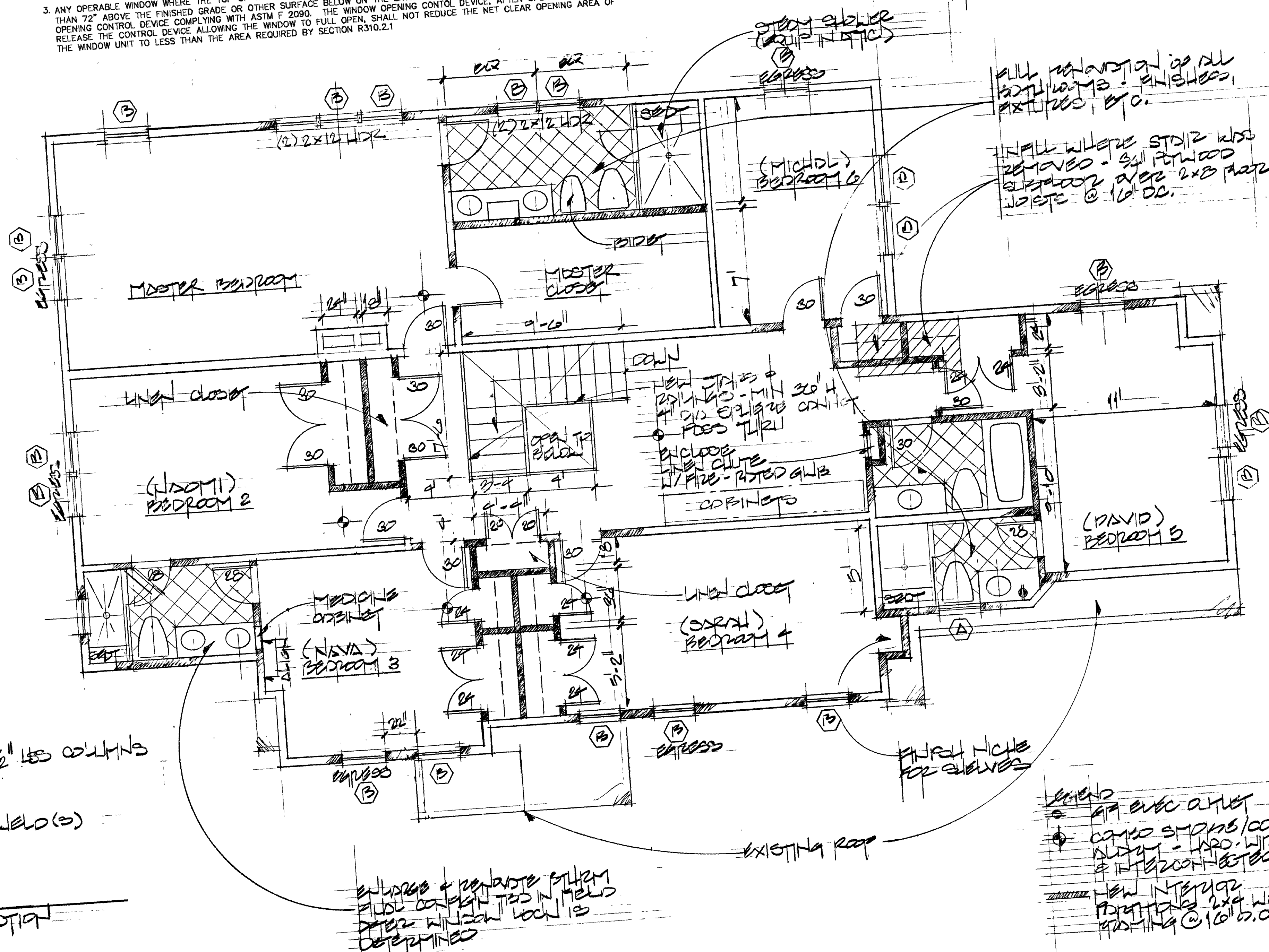
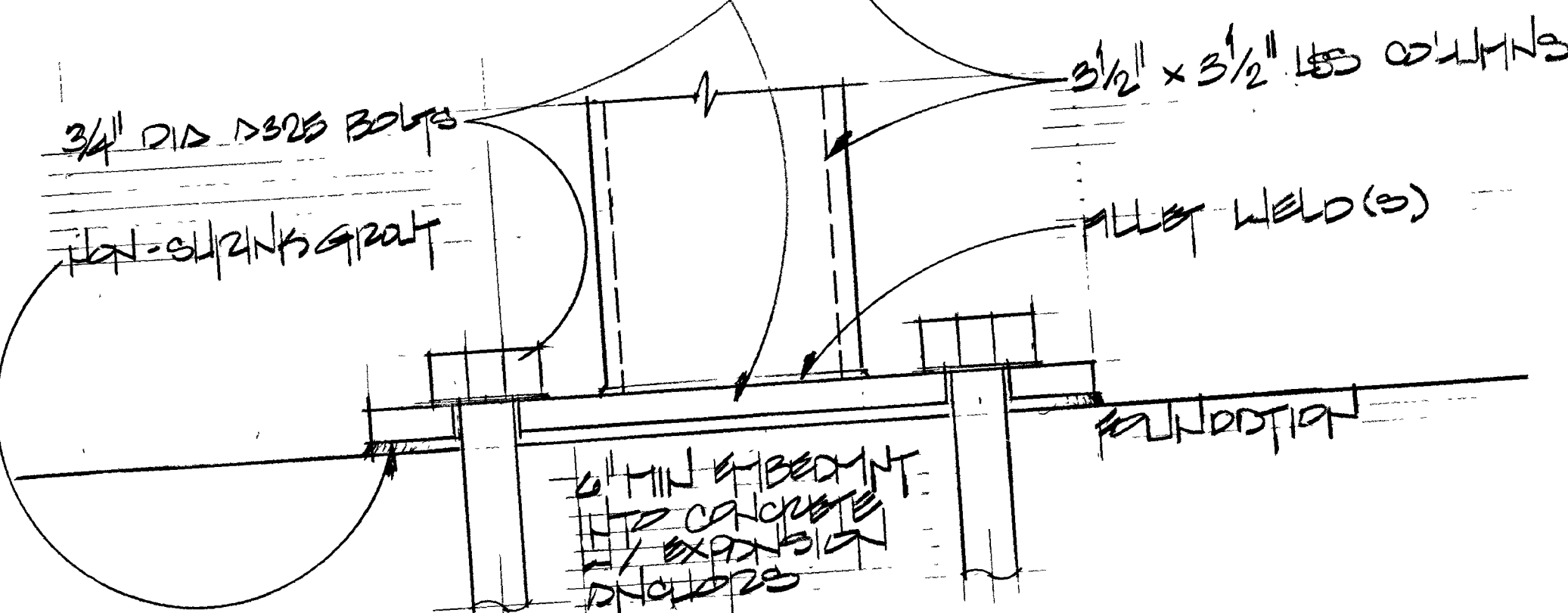
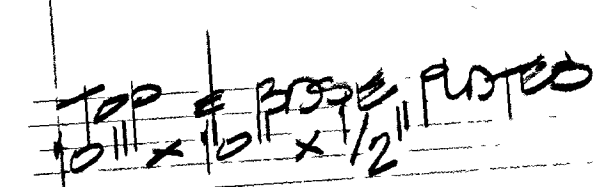
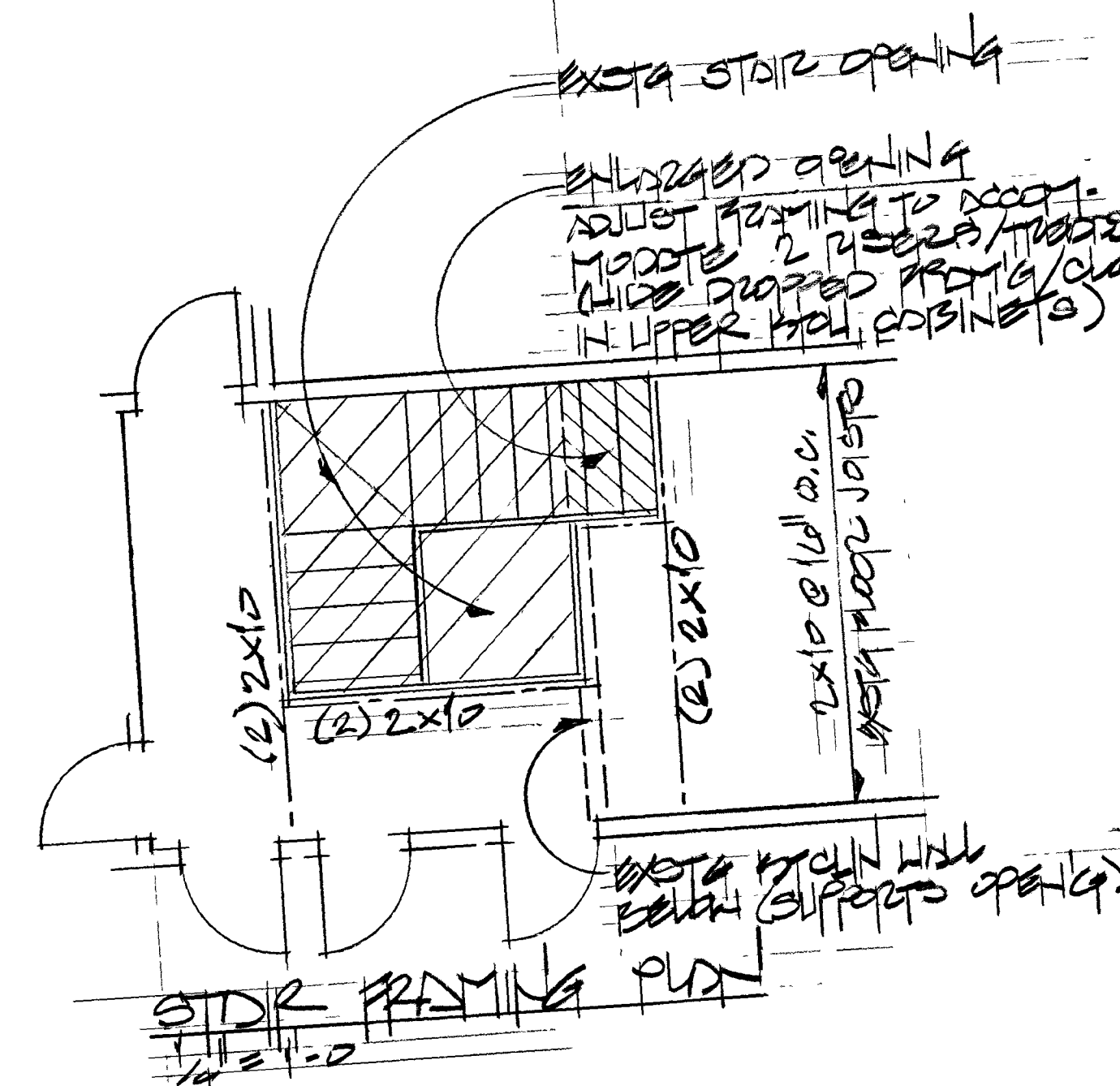
A.2
OF 9

9.15.23
BOILER AND AC SYSTEMS SHALL BE REPLACED WITH NEW, IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S AND MANUAL J. NO EQUIPMENT SHALL BE PURCHASED OR INSTALLED UNTIL ACCA MANUAL S AND MANUAL J HAVE BEEN SUBMITTED TO AND APPROVED BY THE VILLAGE OF GREAT NECK ESTATES BUILDING DEPARTMENT. CONTRACTOR SHALL PROVIDE PROGRAMMABLE THERMOSTATS, DUCT TESTING AND ANY OTHER REQUIREMENTS AS MAY BE PRESCRIBED BY THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.

[illegible]

NOTES:

1. ALL WINDOWS TO BE ANDERSEN 400-SERIES (UNLESS OTHERWISE NOTED). ALL UNITS TO HAVE SIMULATED DIVIDED LIGHT (78") GRILLE WIDTHS) AS SHOWN ON DRAWINGS (SEE ELEVATIONS FOR MORE INFO). EXTERIOR COLOR: TO MATCH EXISTING. INTERIOR: TO MATCH EXISTING. ESTATE GLASSWARE AS SELECTED BY OWNER (GLASS LOCK & KEOPER). EXTENSION JAMBS PREFINISHED TO MATCH WINDOW INTERIOR. LOW-E GLASS THROUGHOUT. HALF SCREENS ON DBLHUNG UNITS, FULL SCREENS ON CASHEMENT AND AWNING UNITS. TRUSCENE INSECT SCREEN- COLOR: WHITE. CONFIRM ALL OF ABOVE WITH OWNER PRIOR TO PLACING A ORDER.
2. ALL WINDOWS SHALL BE DOUBLE PANE LOW-E INSULATED GLASS AND SHALL HAVE A MAXIMUM U-FACTOR OF .29 AND A MAXIMUM SHGC OF .32
3. ANY OPERABLE WINDOW WHERE THE TOP OF THE SILL IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND GREATER THAN 72" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING SHALL HAVE A WINDOW OPENING CONTROL DEVICE COMPLYING WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULL OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.2.1



SECOND FLOOR PLAN

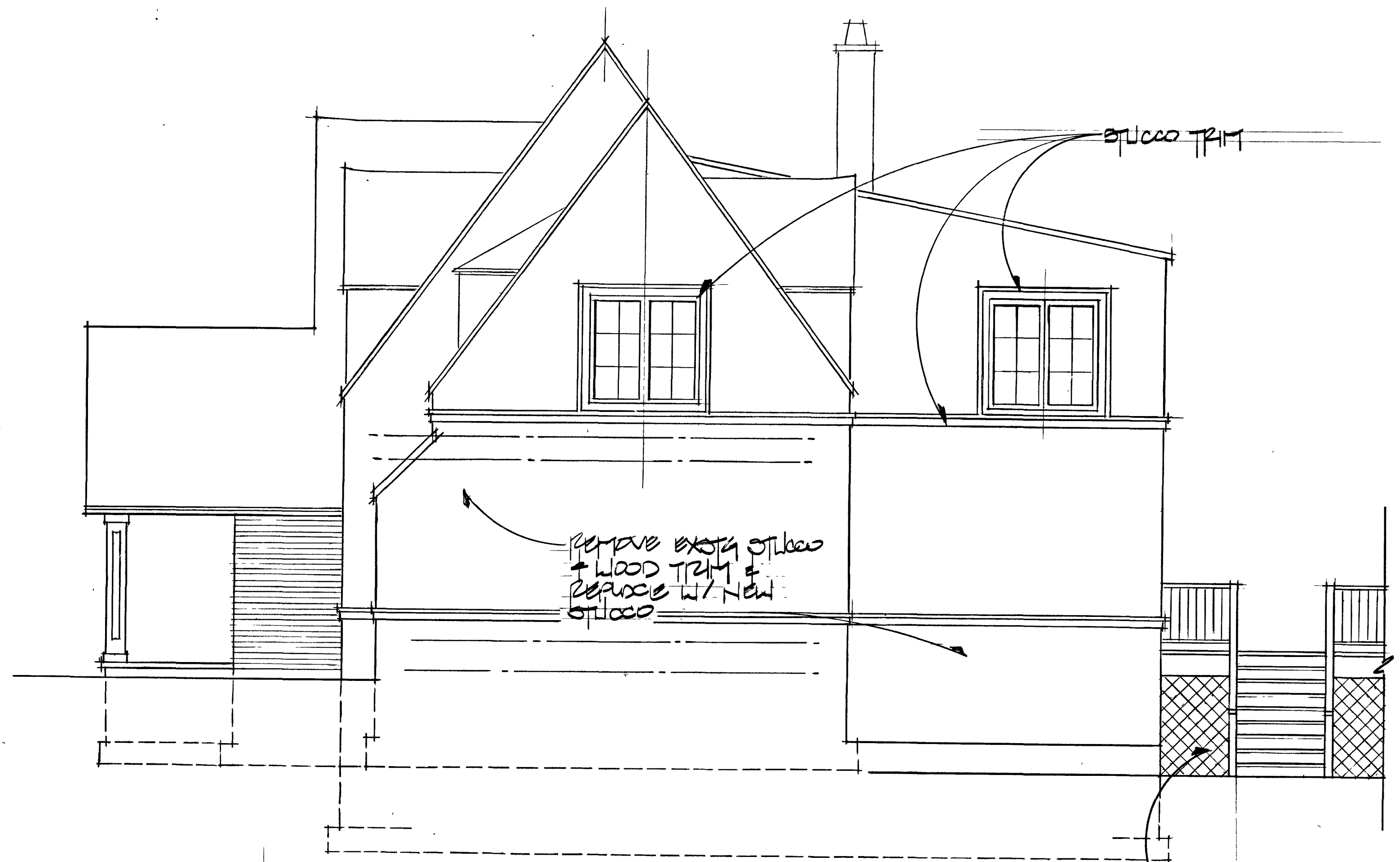
Project:
Abraham Residence
31 North Clover Drive
Great Neck, NY 11021

Architect
Barbach & Associates
199C West Shore Road
Great Neck, NY 11024
(516) 466-2674

Raindrops	9.18
Raindrops	11.21
Raindrops	11.06
Raindrops	7.18
Raindrops	per
Comments	4.18
Comments	2.18
<hr/>	
for Internet D	
per	
per	2.18
per	1.28
per	1.88
per	1.88
total	1.

SECOND FL
PUSH CO
DOWN

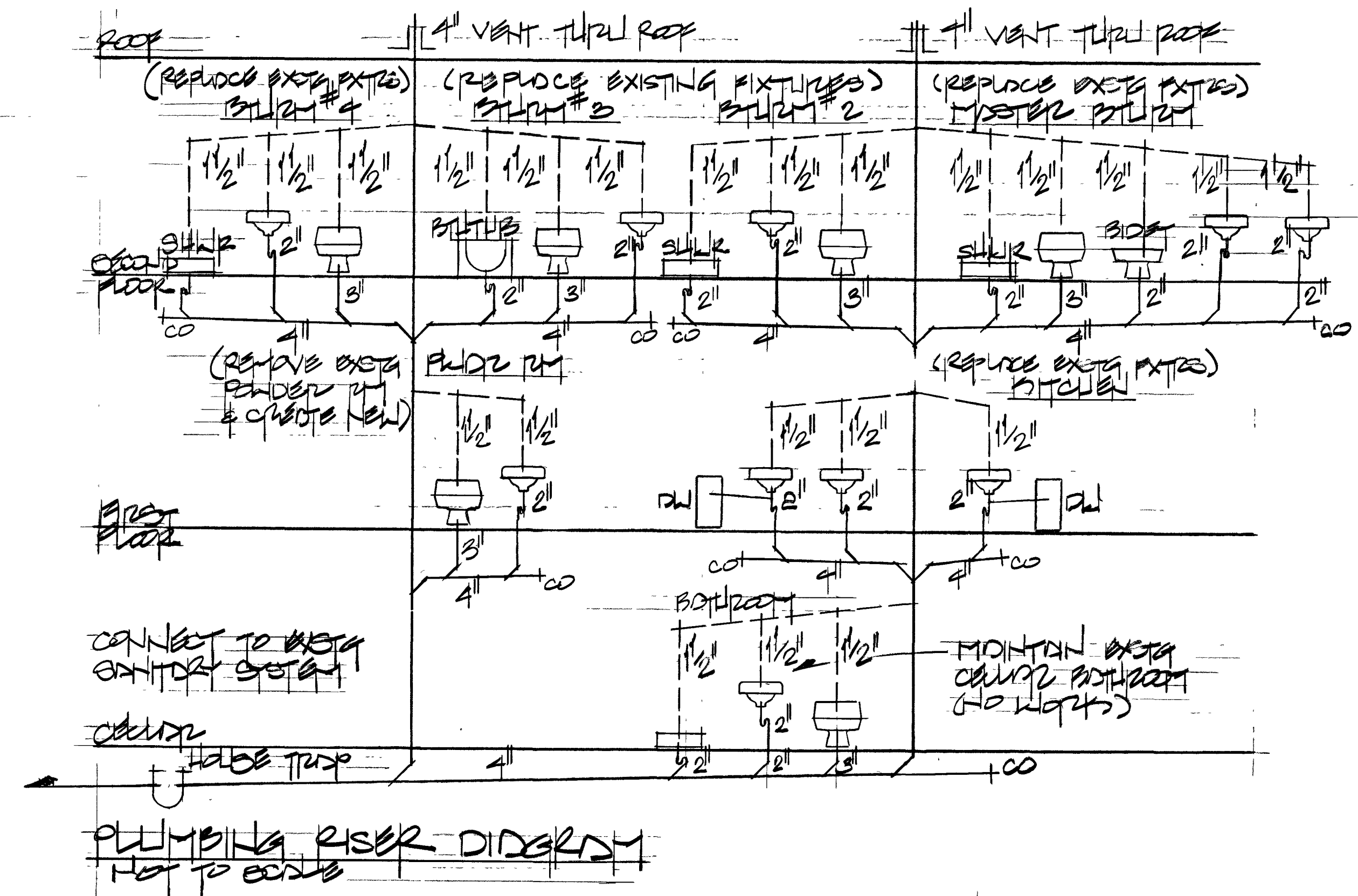
A. 1



SIDE ELEVATION
1/4" = 1'-0"

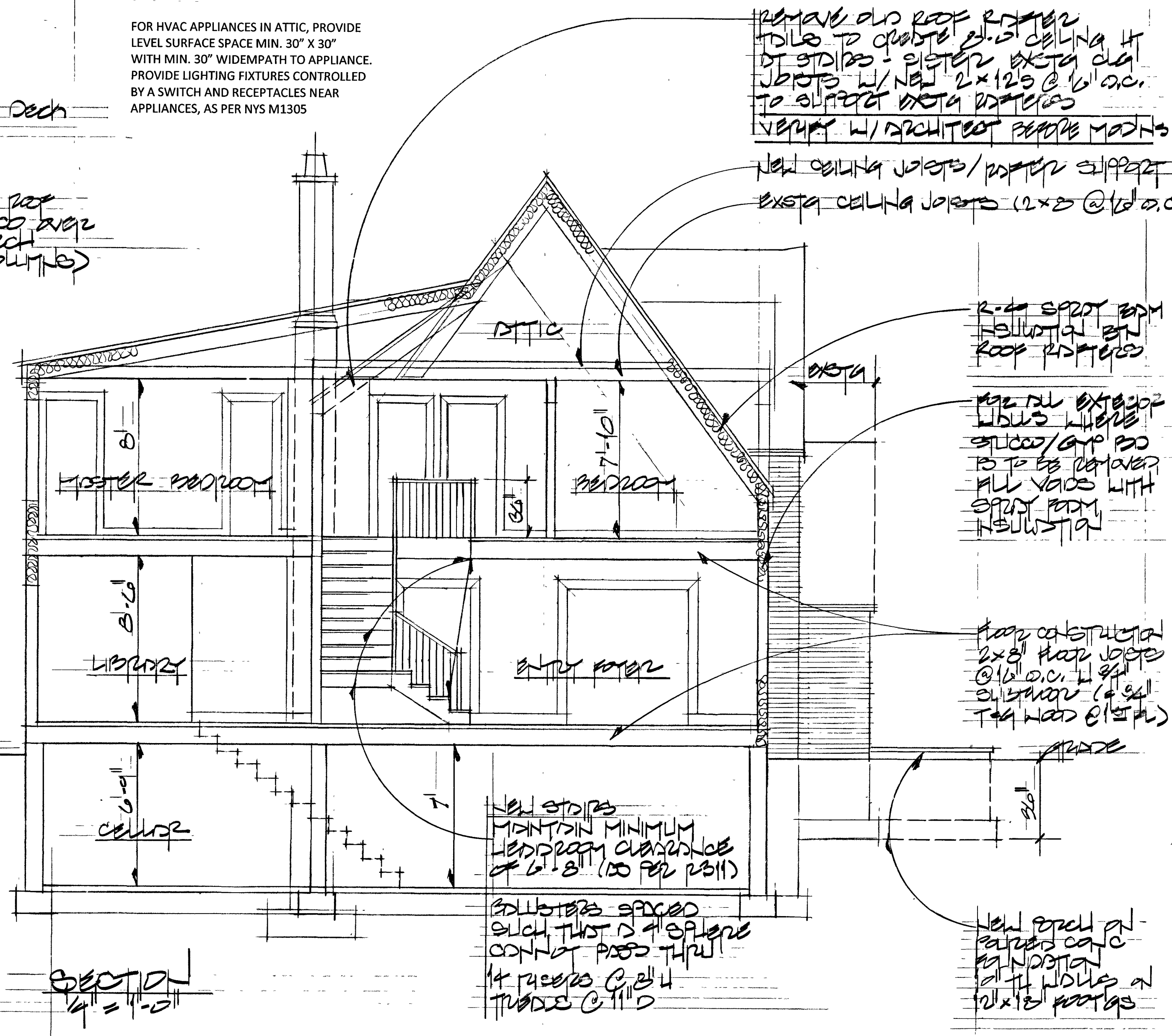


SIDE ELEVATION
1/4" = 1'-0"



PLUMBING RISER DIAGRAM
NOT TO SCALE

FOR HVAC APPLIANCES IN ATTIC, PROVIDE LEVEL SURFACE SPACE MIN. 30" X 30" WITH MIN. 30" WIDEPATH TO APPLIANCE. PROVIDE LIGHTING FIXTURES CONTROLLED BY A SWITCH AND RECEPTACLES NEAR APPLIANCES, AS PER NYS M1305



SECTION
1/4" = 1'-0"

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Abraham Residence
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Great Neck, NY 11021

Architect
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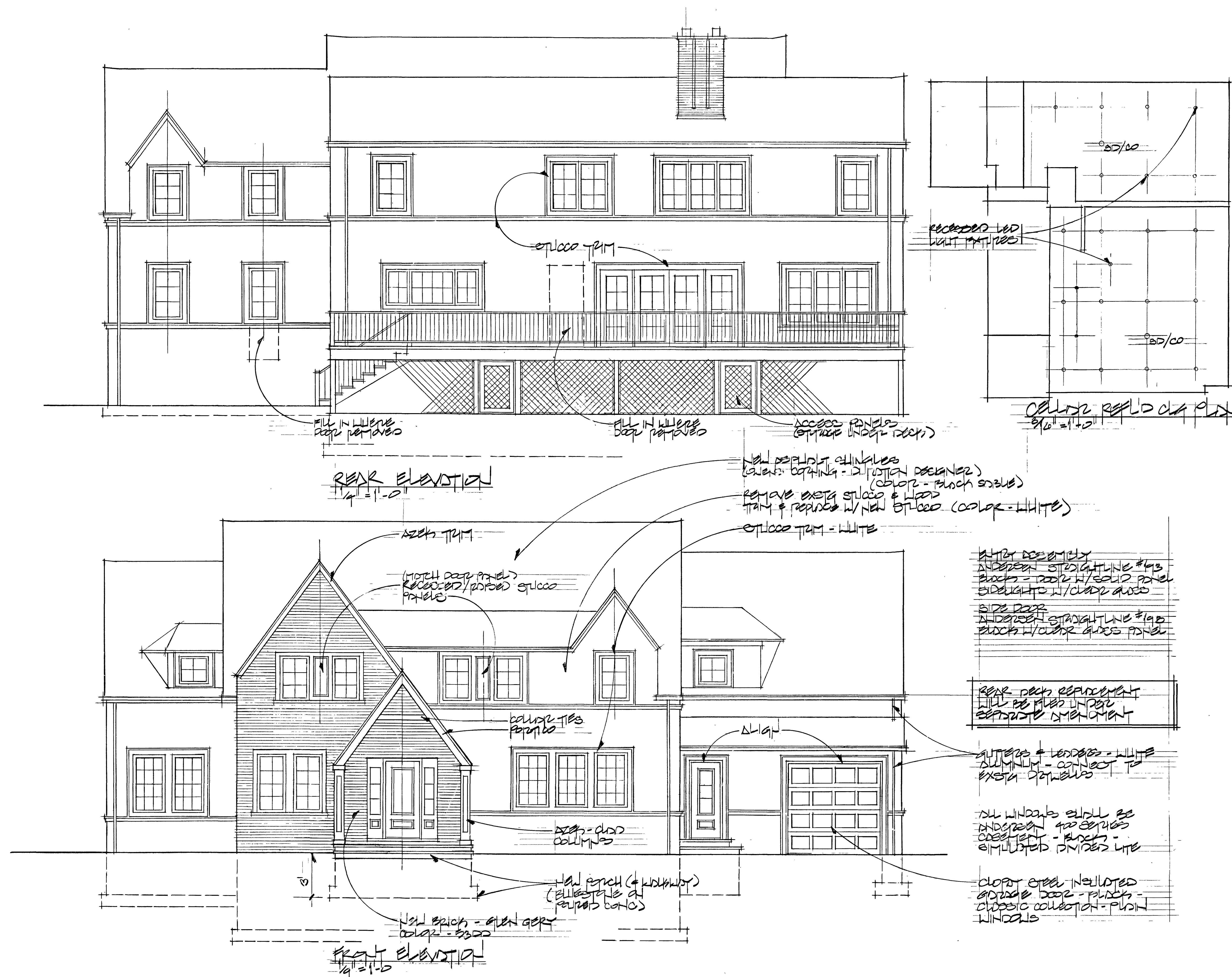
REVISIONS
9.13.23
FOR PERMITS
7.15.23
REVISIONS
11.21.22
7.22.22
REVISIONS
7.13.24
FOR INTERIOR PLUMBING PERMIT
2.22.24
COMMENTS
4.4.24

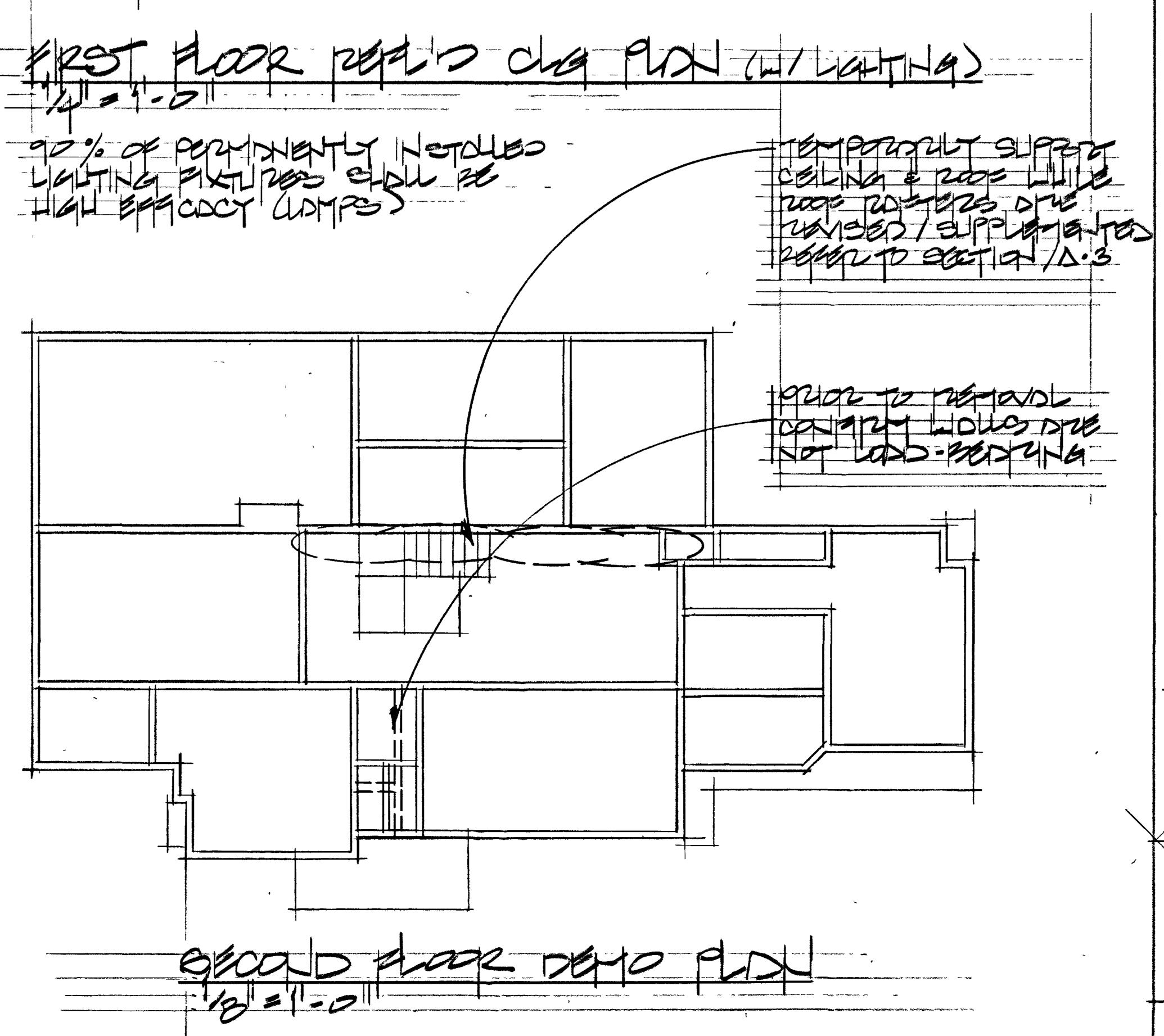
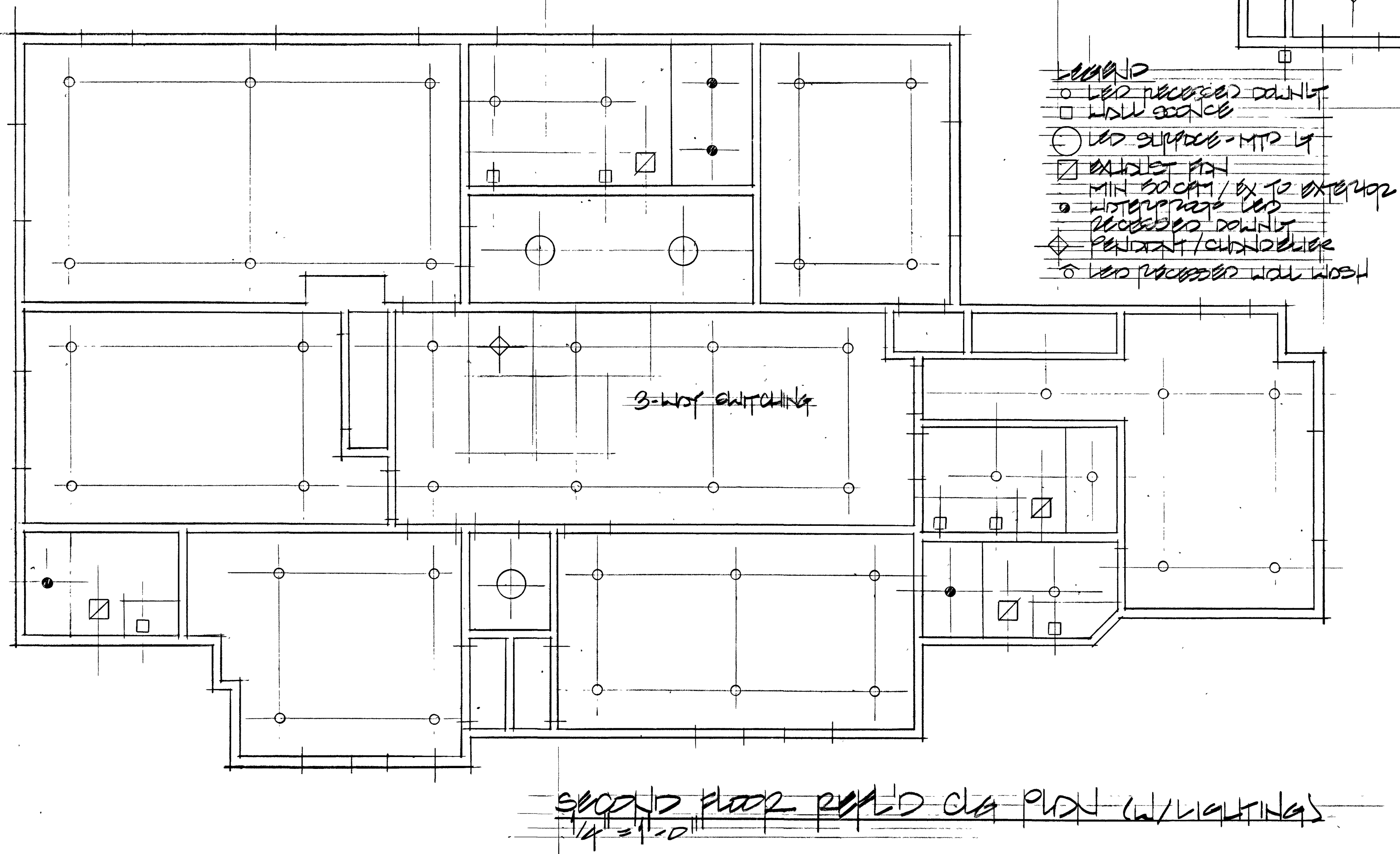
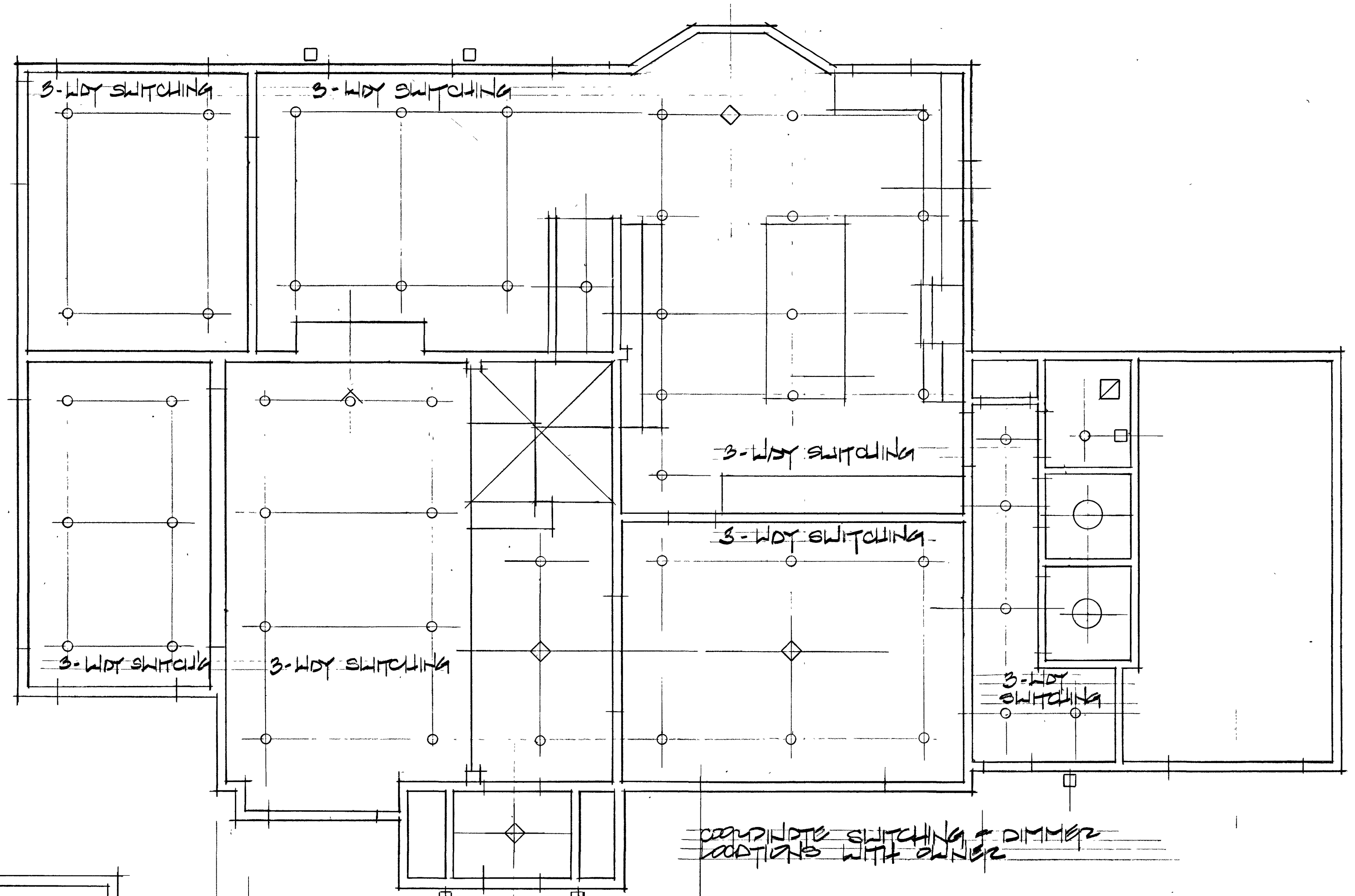
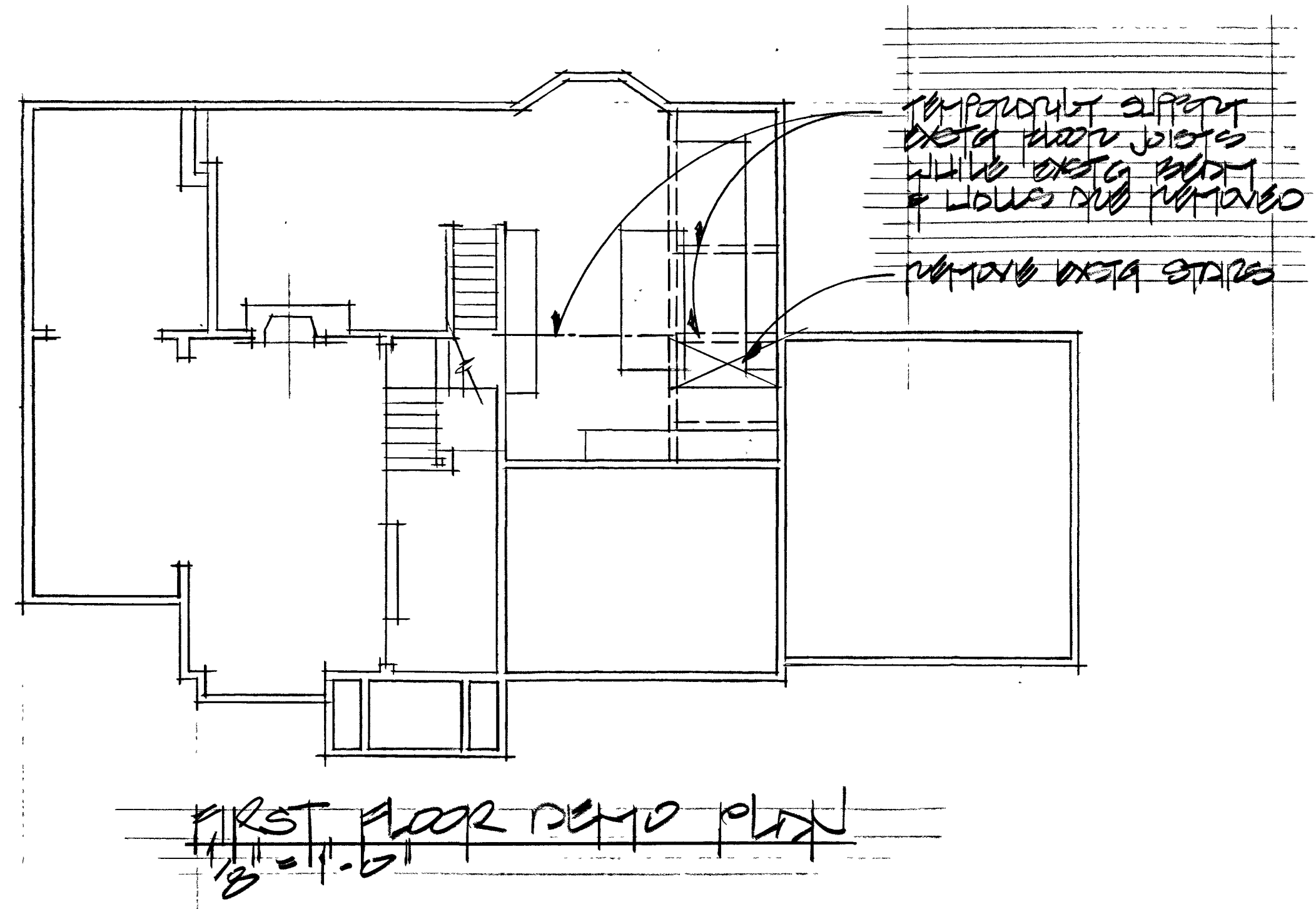
PLUMBING RISER DIAGRAM
SECTION ELEVATION

Architect
Barbach & Associates
199C West Shore Road
Great Neck, NY 11024
(516) 466-2674

95D

A-5





Project
Abraham Residence
31 North Clover Drive
Great Neck, NY 11021

Architect
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109C West Shore Road
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(516) 466-2674

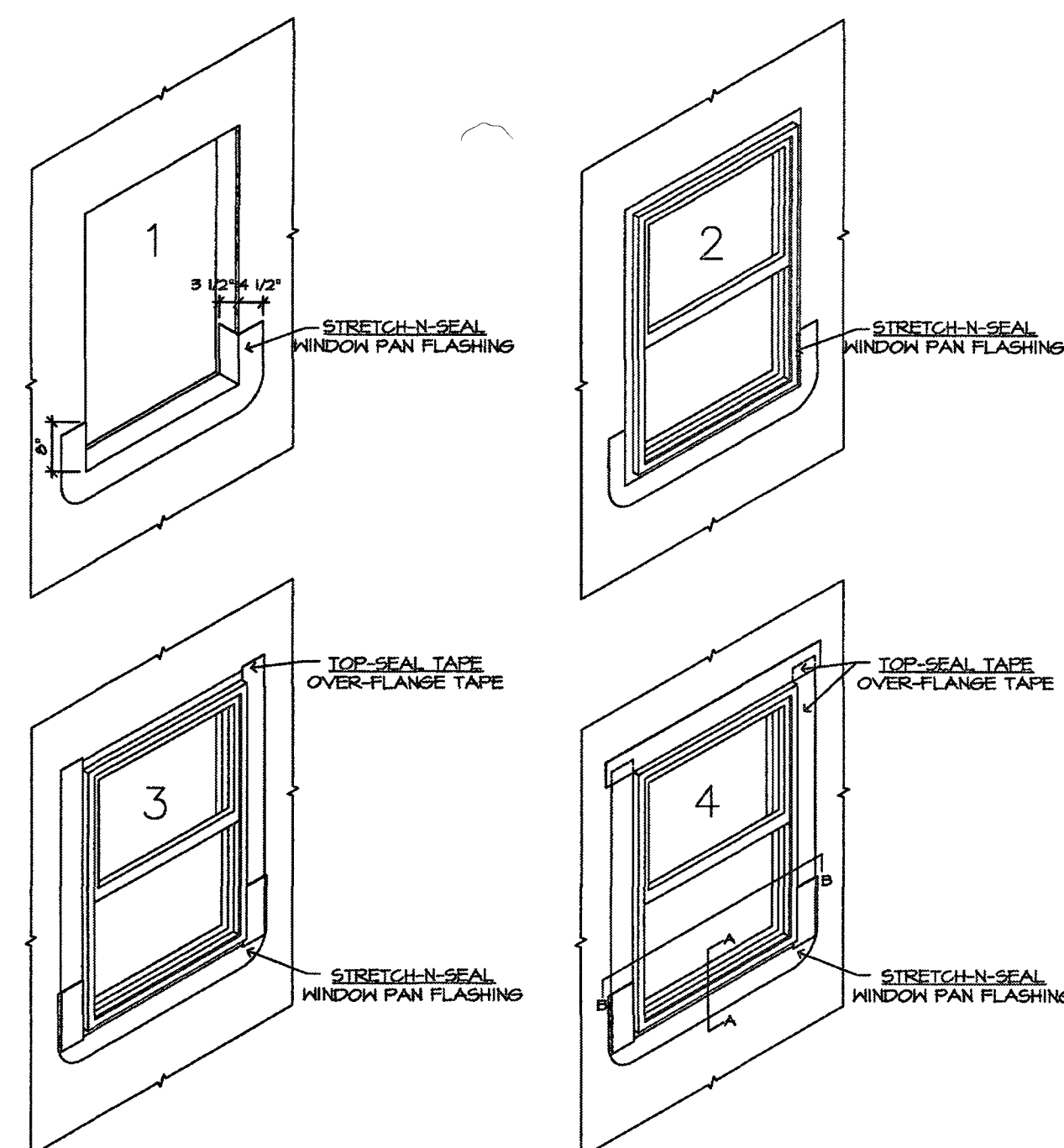
POOL

REVISIONS 9.15.23
REVISED 7.18.22
REVISED 6.15.22
COMMENTS 9.4.22
FOR INTERIOR DESIGN
PERMIT 2.23.22

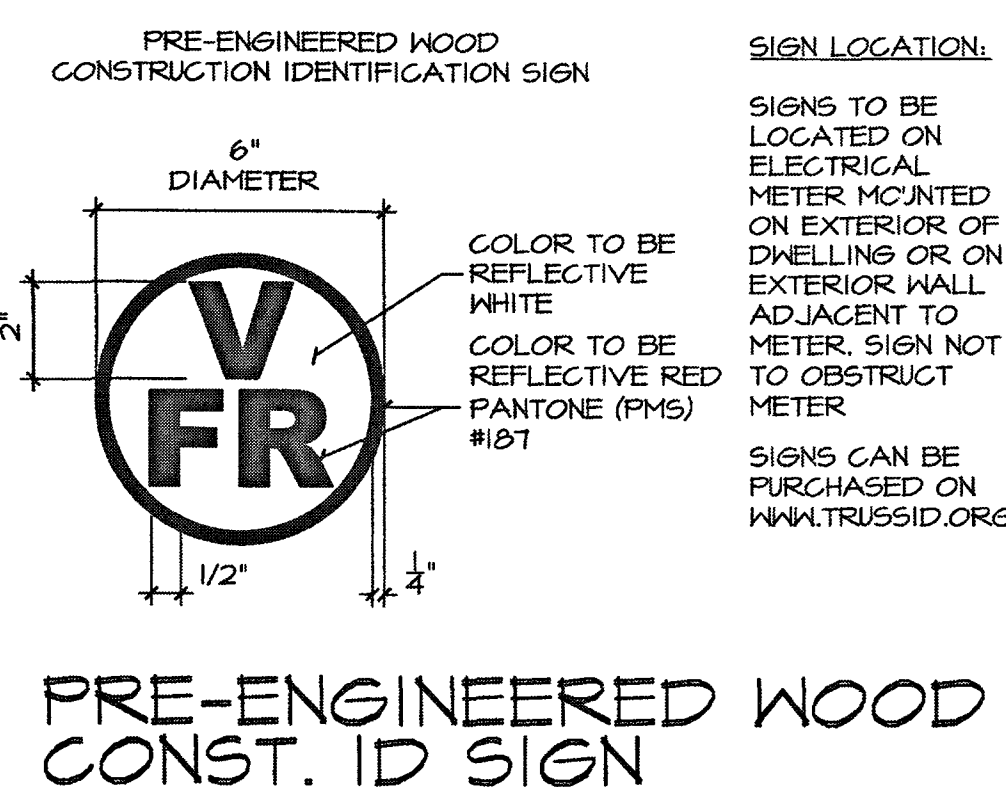
DEM + REFIN'D
CEILING (CLG)
PLANS

A.6
OF 9

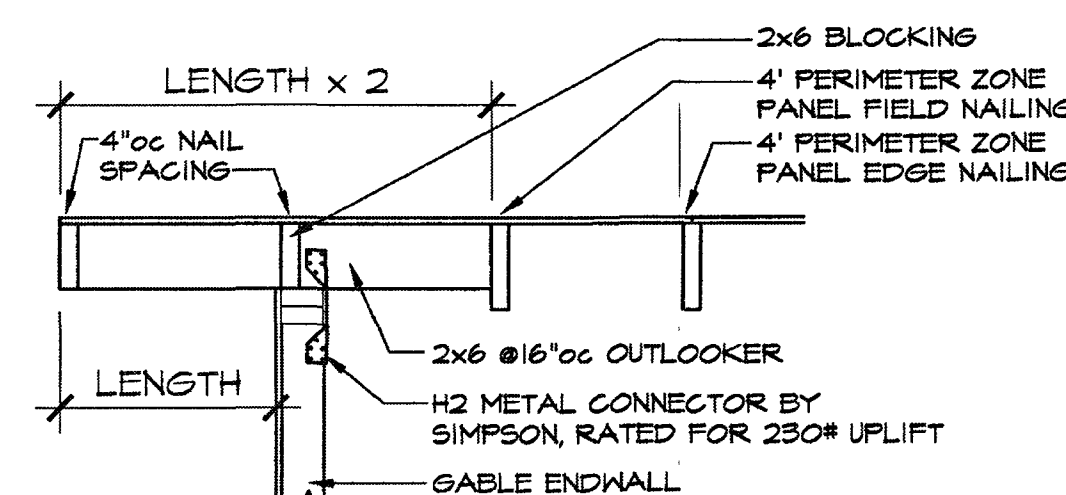
NAILING SCHEDULE TABLE R301.5			
JOINT DESCRIPTION	NUMBER OF COMMON NAILS	NUMBER OF BOX NAILS	NAIL SPACING
ROOF FRAMING			
RAFTER TO TOP PLATE (TOE NAILED)	5-8d	5-10d	PER RAFTER
CEILING JOIST TO TOP PLATE (TOE NAILED)	5-8d	5-10d	PER JOIST
CEILING JOIST TO PARALLEL RAFTER (FACE NAILED)	7-16d	7-40d	EACH LAP
CEILING JOIST LAPS OVER PARTITIONS (FACE NAILED)	7-16d	7-40d	EACH LAP
COLLAR TIE TO RAFTER (FACE NAILED)	215 PLT	215 PLT	PER TIE
BLOCKING TO RAFTER (TOE NAILED)	2-8d	2-16d	EACH END
RIM BOARD TO RAFTER (END NAILED)	2-16d	2-16d	EACH END
WALL FRAMING			
TOP PLATE TO TOP PLATE (FACE NAILED)	2-16d	2-16d	PER FOOT
TOP PLATES AT INTERSECTIONS (FACE NAILED)	4-16d	5-16d	JOINTS- EACH SIDE
STUD TO STUD (FACE NAILED)	2-16d	2-16d	24"oc
HEADER TO HEADER (FACE NAILED)	16d	16d	16"oc ALONG EDGES
TOP OR BOTTOM PLATE TO STUD (END NAILED)	2-16d	2-40d	PER STUD
BOTTOM PLATE TO FLOOR JOIST, BAND JOIST, END JOIST, OR BLOCKING (FACE NAILED)	2-16d	2-16d	PER FOOT
FLOOR FRAMING			
JOIST TO SILL, TOP PLATE OR GIRDER (TOE NAILED)	4-8d	4-10d	PER JOIST
BRIDGING TO JOIST (TOE NAILED)	2-8d	2-10d	EACH END
BLOCKING TO JOIST (TOE NAILED)	2-8d	2-10d	EACH BLOCK
LEDGER STRIP TO BEAM (FACE NAILED)	5-16d	4-16d	EACH JOIST
JOIST ON LEDGER TO BEAM (TOE NAILED)	5-8d	5-10d	PER JOIST
BAND JOIST TO JOIST (END NAILED)	5-16d	4-16d	PER JOIST
BAND JOIST TO SILL OR TOP PLATE (TOE NAILED)	2-16d	5-16d	PER FOOT
ROOF SHEATHING			
WOOD STRUCTURAL PANELS	8d	10d	6"oc EDGE, 12"oc FIELD
DIAGONAL BOARD SHEATHING	2-8d	2-10d	PER SUPPORT
1"x6" or 1"x8"	2-8d	2-10d	PER SUPPORT
1"x10" OR WIDER	2-8d	2-10d	PER SUPPORT
CEILING SHEATHING			
GYPSUM WALLBOARD	5d COOLERS	5d COOLERS	7" EDGE/ 10" FIELD
WALL SHEATHING			
WOOD STRUCTURAL PANELS	8d	10d	6"oc EDGE, 12"oc FIELD
STRUCTURAL FIBERBOARD PANELS	11 ga. galv. ROOFING NAIL (0.120"x1-1/2" LONG x 1/8" HEAD)	-	5" EDGE/ 6" FIELD
1/2"	11 ga. galv. ROOFING NAIL (0.120"x1-3/4" LONG x 3/8" HEAD)	-	5" EDGE/ 6" FIELD
25/32"	5d COOLERS	5d COOLERS	7" EDGE/ 10" FIELD
GYPSUM WALLBOARD	8d	8d	6"oc EDGE, 12"oc FIELD
PARTICLE BOARD PANELS	8d	8d	SEE MANUFACTURER
DIAGONAL BOARD SHEATHING	2-8d	2-10d	PER SUPPORT
1"x6" or 1"x8"	2-8d	2-10d	PER SUPPORT
1"x10" OR WIDER	2-8d	2-10d	PER SUPPORT
FLOOR SHEATHING			
WOOD STRUCTURAL PANELS	8d	10d	6" EDGE/ 12" FIELD
1" OR LESS	10d	16d	6" EDGE/ 12" FIELD
DIAGONAL BOARD SHEATHING	2-8d	2-10d	PER SUPPORT
1"x6" or 1"x8"	2-8d	2-10d	PER SUPPORT
1"x10" OR WIDER	2-8d	2-10d	PER SUPPORT



WINDOW FLASHING DETAILS



PRE-ENGINEERED WOOD CONST. ID SIGN

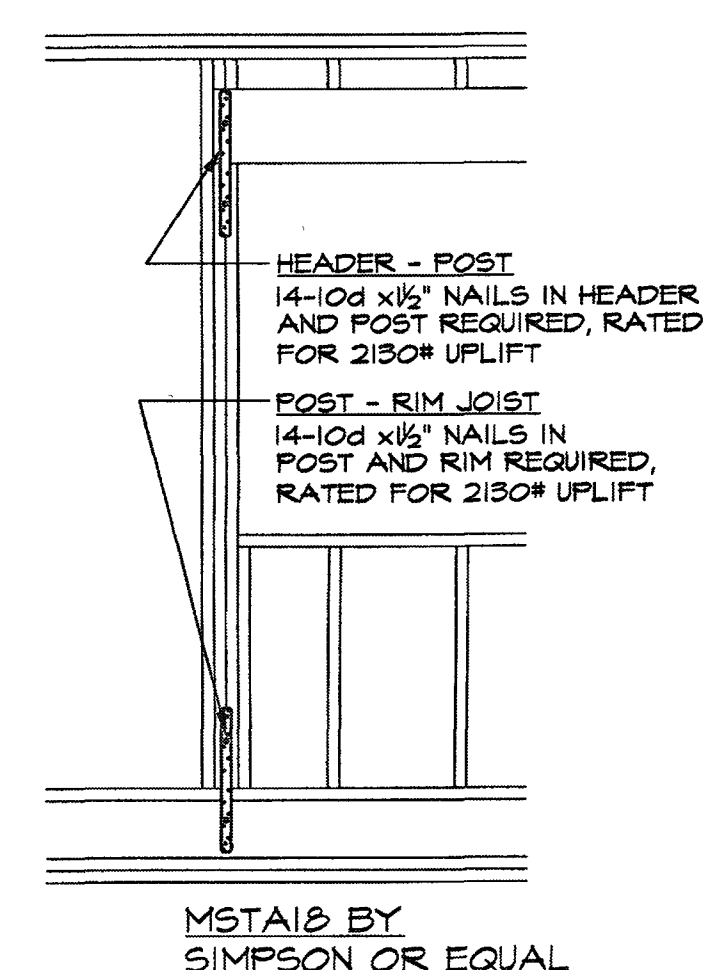


FLYING GABLE DETAIL

3/4"=1'-0"

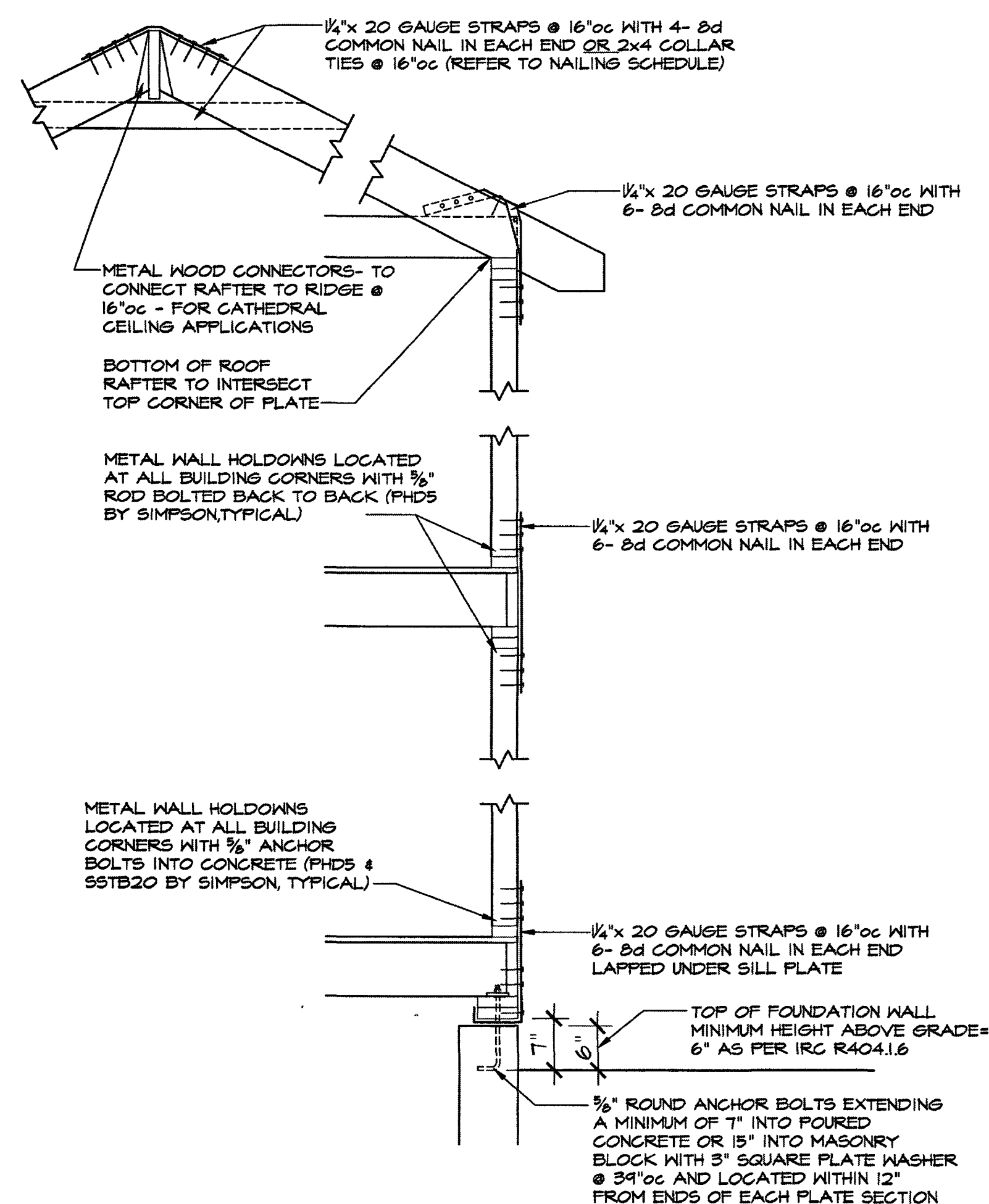
TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS	
UNINHABITABLE ATTICS WITHOUT STORAGE- NOT MORE THAN 42"	10 PSF
UNINHABITABLE ATTICS WITH LIMITED STORAGE	20 PSF
HABITABLE ATTICS WITH FIXED STAIRS	30 PSF
EXTERIOR BALCONIES AND DECKS	40 PSF
GUARDS AND HANDRAILS	200 PSF
GUARDS INFILL COMPONENTS	50 PSF
PASSENGER VEHICLE GARAGES	50 PSF
ROOMS OTHER THAN SLEEPING ROOMS	40 PSF
SLEEPING ROOMS	30 PSF
STAIRS	40 PSF

TABLE R301.7 DEFLECTION	
RAFTERS HAVING SLOPES GREATER THAN 3:12 WITH FINISHED CEILING NOT ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	H/180
CEILINGS WITH BRITTLE FINISHES (PLASTER AND STUCCO)	L/360
CEILINGS WITH FLEXIBLE FINISHES (GYPSUM BOARD)	L/240
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS- WIND LOADS WITH PLASTER OR STUCCO FINISHES	H/360
EXTERIOR WALLS- WIND LOADS WITH OTHER BRITTLE FINISHES	H/240
EXTERIOR WALLS- WIND LOADS WITH FLEXIBLE FINISHES	H/180
LINTELS SUPPORTING MASONRY VENEER WALLS	L/600



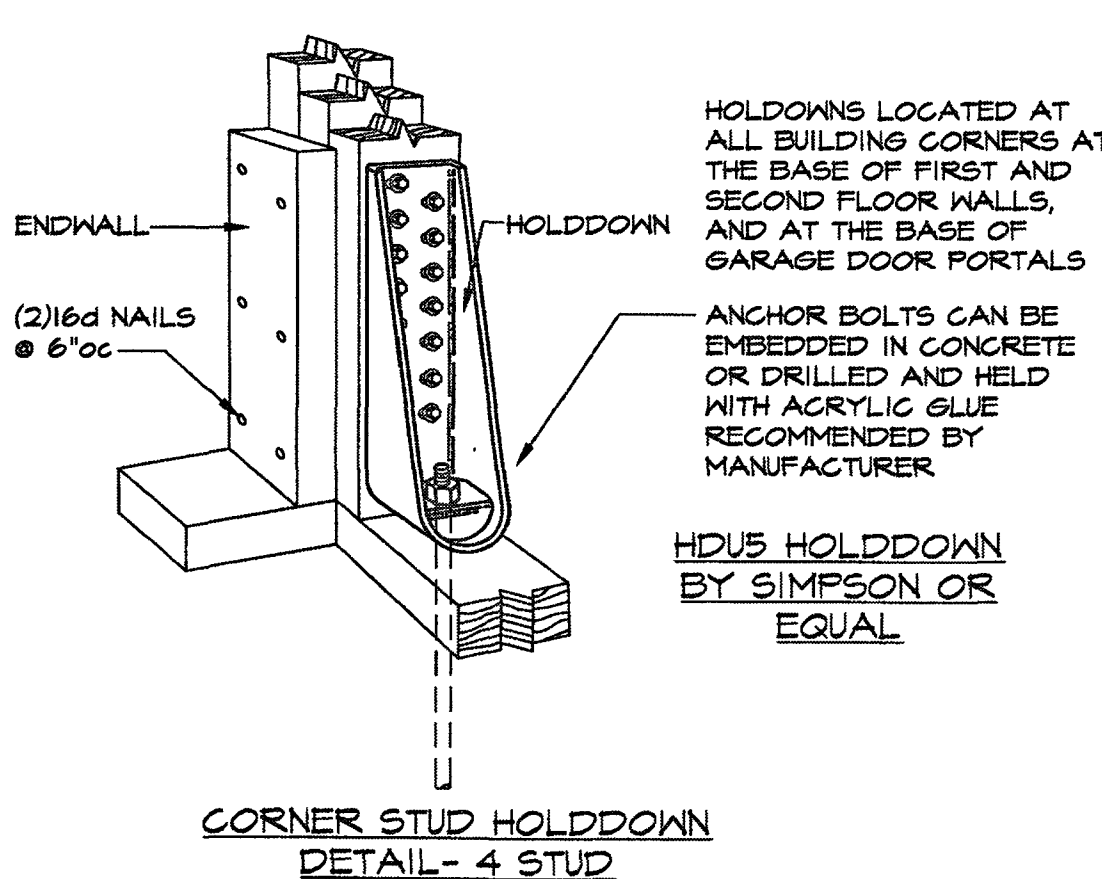
FRAMED OPENING DETAIL

ALSO USE STRAPPING AS SHOWN ON 1/2"=1'-0" FRAMING CONNECTION DETAILS FOR JACK, KING, & CRIPPLE STUDS

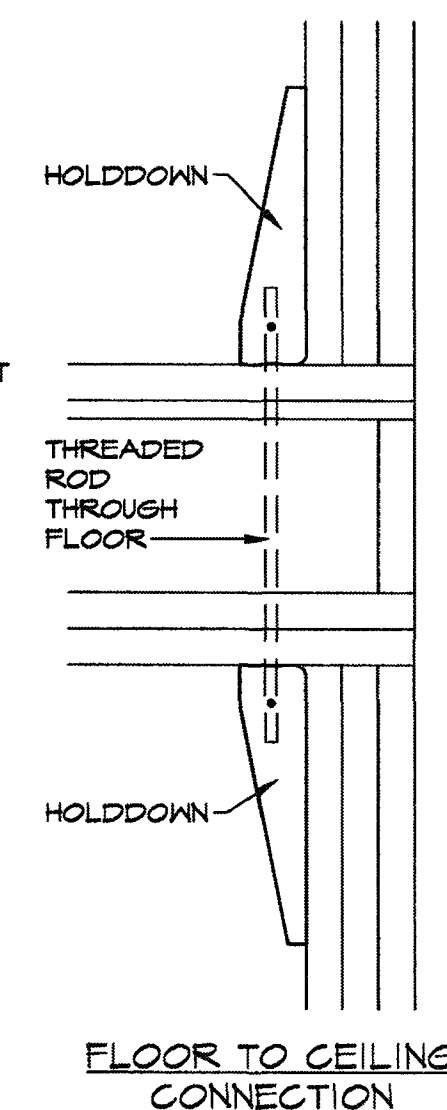


FRAMING CONNECTION DETAILS

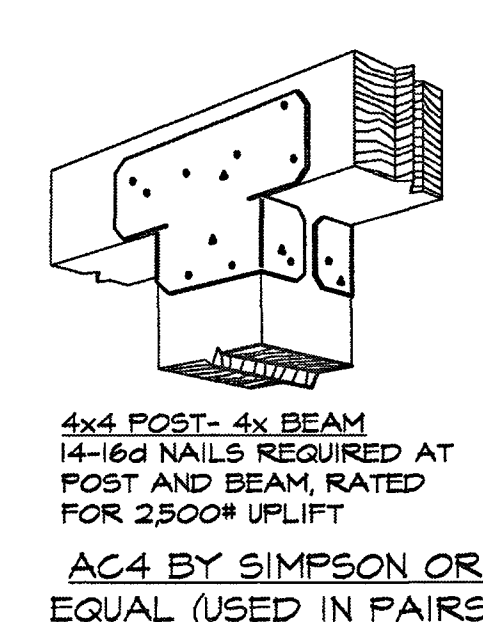
ALL METAL CONNECTORS TO BE GALVANIZED



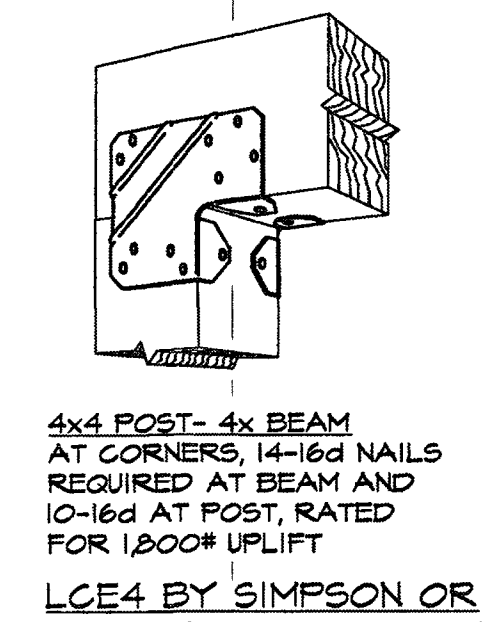
CORNER STUD HOLDDOWN DETAIL- 4 STUD



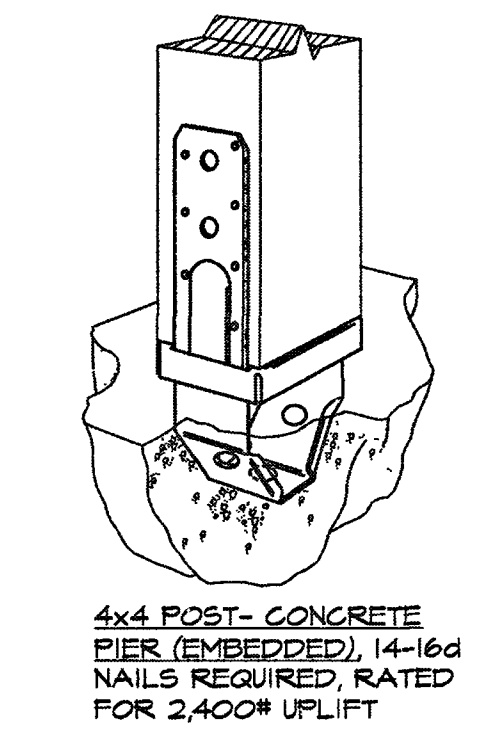
FLOOR TO CEILING CONNECTION



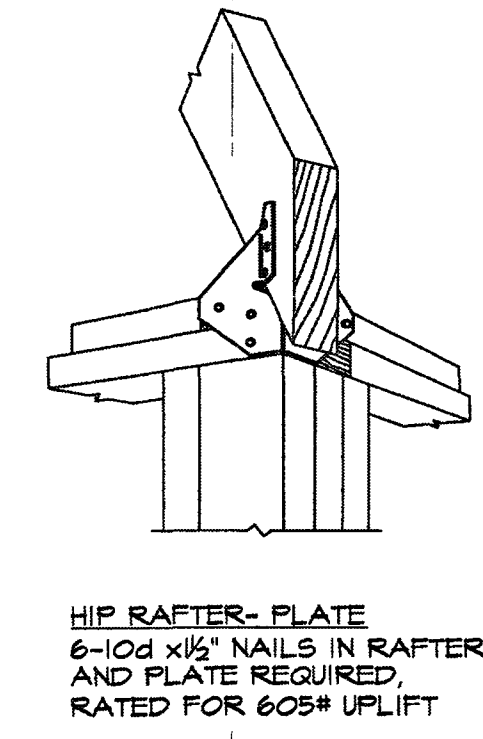
AC4 BY SIMPSON OR EQUAL (USED IN PAIRS)



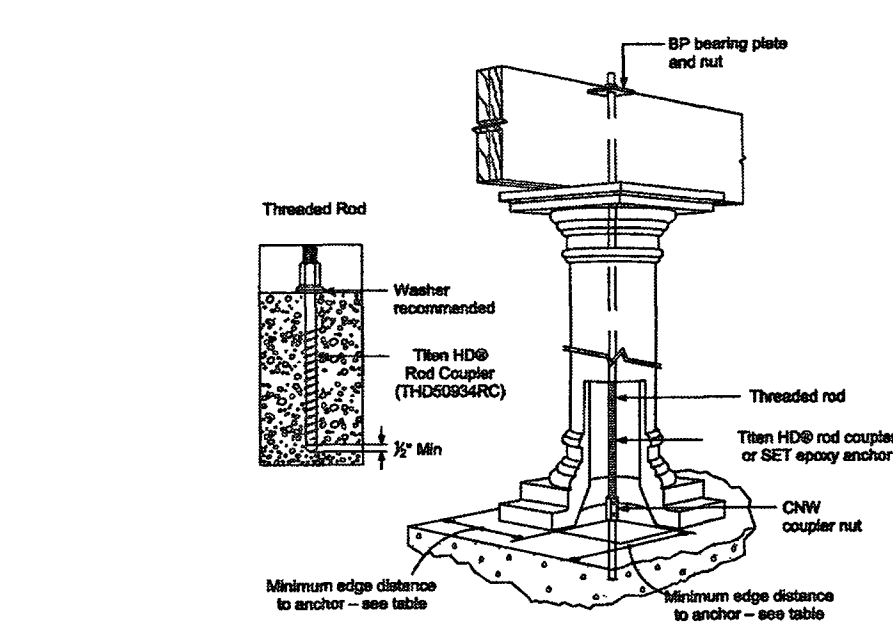
LCE4 BY SIMPSON OR EQUAL (USED IN PAIRS)



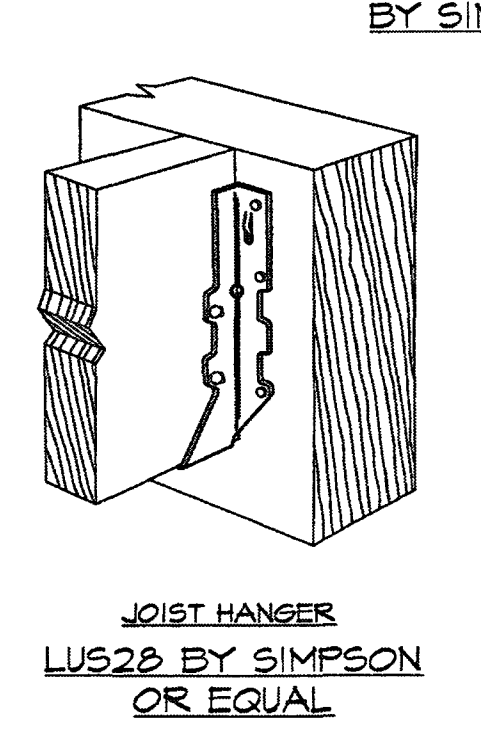
PBS44A BY SIMPSON OR EQUAL



HCR BY SIMPSON OR EQUAL



COLUMN CONNECTION BY SIMPSON OR EQUAL



JOIST HANGER LUS28 BY SIMPSON OR EQUAL

Project:
Abraham Residence
31 North Clover Drive
Great Neck, NY 11021

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199 C WEST SHORE ROAD
Great Neck, NY 11024
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Barbach & Associates

CONSTRUCTION DETAILS

REVISED 9.15.23
FOR PERMIT 4.4.22

A.7

2016 IECC (INTERNATIONAL ENERGY CONSERVATION CODE)

IRC N1101.14 (R401.3) - MANDATORY CERTIFICATE SHALL BE COMPLETED BY BUILDER OR REGISTERED DESIGN PROFESSIONAL AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM, OR AN APPROVED LOCATION INSIDE THE BUILDING.

IRC N1102.4 - MANDATORY BLOWER DOOR TESTING AND DUCT LEAKAGE TESTING TO BE PERFORMED BY A CERTIFIED ENERGY STAR HERS RATER (CERTIFICATION REQUIRED).

IRC N1103 - MANDATORY SYSTEMS REQUIREMENTS: AUTOMATIC THERMOSTAT CONTROLS, DUCT LEAKAGE TESTING AND COMPLIANCE CERTIFICATE REQUIRED, MECHANICAL PIPING INSULATION REQUIRED, IN ACCORDANCE TO IRC N1103.3

IRC N1103.7 (R403.7) - HVAC SYSTEM DESIGN TO COMPLY WITH ACCA MANUAL J. NEW OR REPLACEMENT HEATING AND COOLING EQUIPMENT SHALL HAVE AN EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

INSULATION SPECIFICATIONS:

- FLAT CEILING: R-35 BATT, IF APPLICABLE.
- HOT ROOF (UN-VENTED ATTIC): R-30 BATT (8'-8" LOW DENSITY SPRAY FOAM), IF APPLICABLE.
- FLOORS ABOVE UNCONDITIONED SPACE: R-30 BATT MIN.(IN LIEU OF R-30), IF APPLICABLE.
- ABOVE GRADE EXTERIOR WALLS: R-21 BATT (N-BETWEEN 2X6 STUDS

MECHANICAL SPECIFICATIONS:

- ≥ 90% A/E BOILER
- ≤ 1.3 SEER AC EQUIPMENT
- PROGRAMMABLE THERMOSTAT
- MECHANICAL VENTILATION ≥ 100CFM
- ≥ ONE ENERGY STAR BATH FAN WITH AN ELECTRONIC PROGRAMMABLE TIMER

OTHER SPECIFICATIONS:

- WINDOWS: U < 0.30, SHGC ≤ 0.30
- < 3 AIR CHANGES PER HOUR
- 100% HIGH EFFICIENCY LIGHTING (CFL'S OR LED'S)
- ALL APPLIANCES MUST BE ENERGY STAR CERTIFIED

ADDITIONAL ENERGY CODE COMPLIANCE REQUIREMENTS:

1. APPLY 1/2" THICK HIGH DENSITY (HD) FOAM INSULATION UNDER TOP PLATES IN-BETWEEN EXTERIOR WALL STUDS
2. APPLY CAULK ADHESIVE OR SEALANT TO SEAL GAP BETWEEN 2 TOP PLATES PRIOR TO INSTALLATION OF EXTERIOR PLYWOOD, GYP. BOARD, AND INSULATION.
3. ALL DUCT SEAMS TO BE SEALED VIA MASTIC COMPOUND, OR JOINT COMPOUND.

COMPLIANCE SOFTWARE R101.5.1

ENERGY COMPLIANCE CERTIFICATE AMASSED USING THE "RES CHECK" COMPUTER SOFTWARE DEVELOPED BY THE UNITED STATES DEPARTMENT OF ENERGY

INFORMATION ON CONSTRUCTION DOCUMENTS R103.2

THE ENCLOSED/ SUBMITTED CONSTRUCTION DOCUMENTS WERE PREPARED BY A NEW YORK STATE REGISTERED DESIGN PROFESSIONAL AND CLEARLY DOCUMENT THE CODE COMPLIANCE, INCLUDING BUT NOT LIMITED TO THE FOLLOWING ITEMS:

1. INSULATION MATERIALS AND THEIR R-VALUES.
2. FENESTRATION U-FACTOR AND SOLAR HEAT GAIN COEFFICIENT (SHGC).
3. AIR INFILTRATION RATE OF ALL DIFFERING FENESTRATION ITEMS
4. AREA-WEIGHTED U-FACTOR AND SOLAR HEAT GAIN COEFFICIENT (SHGC) CALCULATIONS.
5. MECHANICAL SYSTEM DESIGN CRITERIA ALONG WITH MANUAL J CALCULATIONS (OR APPROVED EQUAL)
6. MECHANICAL AND SERVICE WATER HEATING SYSTEM AND EQUIPMENT TYPES, SIZES, AND EFFICIENCIES.
7. EQUIPMENT AND SYSTEM CONTROLS.
8. DUCT SEALING, DUCT AND PIPE INSULATION AND LOCATION.
9. AIR SEALING TYPE, LOCATIONS AND DETAILS

REQUIRED INSPECTIONS (R104.2)

THE FOLLOWING INSPECTIONS SHALL BE PERFORMED AS REQUIRED IN ACCORDANCE WITH R104.2.1 THROUGH R104.2.5.

R104.2.1: FOOTING AND FOUNDATION

R104.2.2: FRAMING AND ROUGH IN

R104.2.3: PLUMBING ROUGH IN

R104.2.4: MECHANICAL ROUGH IN

R104.2.5: FINAL INSPECTION

COMPONENTS TO BE INSPECTED ARE INSULATION, AIR SEALS, AIR BARRIERS, VAPOR RETARDERS, DUCT SEALING, MEP COMPONENTS, WINDOWS AND DOORS, AND LIGHTING CONTROLS.

TESTING R402.4.1.2

AIR LEAKAGE TESTING MUST BE CONDUCTED BY AN APPROVED 3RD PARTY TESTING ENTITY IN ACCORDANCE WITH R402.4.1.2. THE BUILDING MUST BE VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. A DETAILED WRITTEN REPORT OF THE TESTING RESULTS PERFORMED BY THE THIRD PARTY TESTING ENTITY MUST BE SUBMITTED TO THE BUILDING DEPARTMENT. THE REPORT MUST BE SIGNED AND NOTARIZED BY THE 3RD PARTY ENTITY.

NOTE: ALL INSPECTIONS SHALL BE PERFORMED BY A THIRD PARTY NY STATE REGISTERED DESIGN PROFESSIONAL NOT AFFILIATED WITH THE DESIGN OR CONSTRUCTION OF THE PROPOSED BUILDING IN ACCORDANCE WITH R104.4. A DETAILED LETTER CONTAINING A STATEMENT CERTIFYING THAT THE BUILDING IS IN FULL COMPLIANCE WITH THE 2016 ENERGY CONSERVATION CONSTRUCTION CODE MUST BE SUBMITTED TO THE BUILDING DEPARTMENT AS A REQUIREMENT FOR A CERTIFICATE OF OCCUPANCY.

NYS CONSERVATION CONSTRUCTION CODE NOTES

1. ALL WORK SHALL CONFORM TO N.Y.S. ENERGY CONSERVATION CONSTRUCTION CODE AND SHALL MEET BUT NOT LIMITED TO THE FOLLOWING REQUIREMENTS
2. DESIGN VALUES FOR WARM - HUMID DEFINITION - MOIST (A) LOCATIONS. 5200 DEGREE DAYS 15° F (DEGREES FAHRENHEIT) TO 67° F (DEGREES FAHRENHEIT) WINTER DESIGN DRY BULB TEMPERATURE, OR 73° F (DEGREES FAHRENHEIT) SUMMER DESIGN DRY BULB TEMPERATURE.
3. WINDOW AND DOOR MANUFACTURERS SHALL CERTIFY THAT THEIR PRODUCTS MEET MINIMUM U-VALUES INDICATED AND AIR INFILTRATION AS PER CODE.
4. DOMESTIC HOT WATER SHALL COMPLY WITH REQUIREMENTS OF CLASS ONE-WATER HEATERS AND WATER TEMPERATURE SHALL BE 140° F (DEGREES FAHRENHEIT).
5. HVAC EQUIPMENT SHALL MEET FOLLOWING REQUIREMENTS:
 - MINIMUM COMBUSTION EFFICIENCY OF 75% AT MAXIMUM RATED OUTPUT.
 - HVAC EQUIPMENT PERFORMANCE SHALL BE CERTIFIED BY THE MANUFACTURER FOR CONFORMANCE WITH SECTION E 403.1.3 OF NYS ENERGY CONSERVATION CONSTRUCTION CODE. THERMOSTAT SETTING RANGE FOR HEATING 45° F (DEGREES FAHRENHEIT) TO 75° F (DEGREES FAHRENHEIT) FOR COOLING 70° F (DEGREES FAHRENHEIT) TO 85° F (DEGREES FAHRENHEIT).
 - ALL HEATING PIPING UP TO 1" Ø (DIAMETER) SHALL BE INSULATED WITH 1" PIPE-I INSULATION WHEN RUN IN VENTILATED CRAWL SPACE, UNHEATED BASEMENTS AND CELLARS WITHOUT INSULATED WALLS AND UNDER CONCRETE SLABS ON GRADE.
6. FIREPLACE SHALL BE EQUIPPED WITH THE FOLLOWING:
 - DAMPER WITH AIR LEAKAGE OF 20 CFM MAXIMUM. DAMPENED COMBUSTION AIR VENTS WITH TOTAL CAPACITY BETWEEN 150 CFM TO 200 CFM LOCATED IN EARTH AND AT SIDES OF FIREBOX AND NON-COMBUSTIBLE GLASS PLATE DOOR.
7. THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER THE DIRECTION OF THE UNDERSIGNED AND TO THE BEST OF THE UNDERSIGNED'S KNOWLEDGE, INFORMATION AND BELIEF MEET THE REQUIREMENTS OF THE N.Y.S. ENERGY CONSERVATION CONSTRUCTION CODE.

CODE REQUIREMENTS (IRC RES. CODE CHAPTER 3 - BUILDING PLANNING)

1. ALL WORK SHALL CONFORM WITH THE 2015 INTERNATIONAL BUILDING CODE, CHAPTER 3 SECTION R301.2.1 AND R301.2.1.1. THE SOUTHERN BUILDING CONGRESS INTERNATIONAL STANDARD FOR HURRICANE RESISTANT RESIDENTIAL CONSTRUCTION S510 10-99 WAS USED. THE FOLLOWING MUST BE DONE IN ORDER TO COMPLY TO THIS STANDARD

ENERGY CODE COMPLIANCE REQUIREMENTS:

1. APPLY 1/2" THICK HIGH DENSITY (HD) SPRAY FOAM INSULATION UNDER TOP PLATES IN-BETWEEN EXTERIOR WALL STUDS, INSPECTION WILL BE PERFORMED.

2. APPLY CAULK ADHESIVE OR SEALANT TO SEAL GAP BETWEEN 2 TOP PLATES AND BASE PLATE PRIOR TO INSTALLATION OF EXTERIOR PLYWOOD, GYP. BOARD, AND INSULATION, INSPECTION WILL BE PERFORMED.

3. ALL DUCT SEAMS TO BE SEALED VIA MASTIC COMPOUND, OR JOINT COMPOUND, INSPECTION WILL BE PERFORMED.

4. PROVIDE AUTOMATIC AIR DAMPERS AT ALL EXHAUST VENTS LEADING TO OUTSIDE. ALL AC DUCTS TO BE INSPECTED FOR AIR LEAKAGE, AIR TIGHT SEAL REQUIRED THROUGHOUT DWELLING.

5. ALL DUCTS, INCLUDING RETURN AIR DUCTS TO BE INSULATED VIA R6 @ ATTIC LEVEL & R6 @ CELLAR LEVEL.

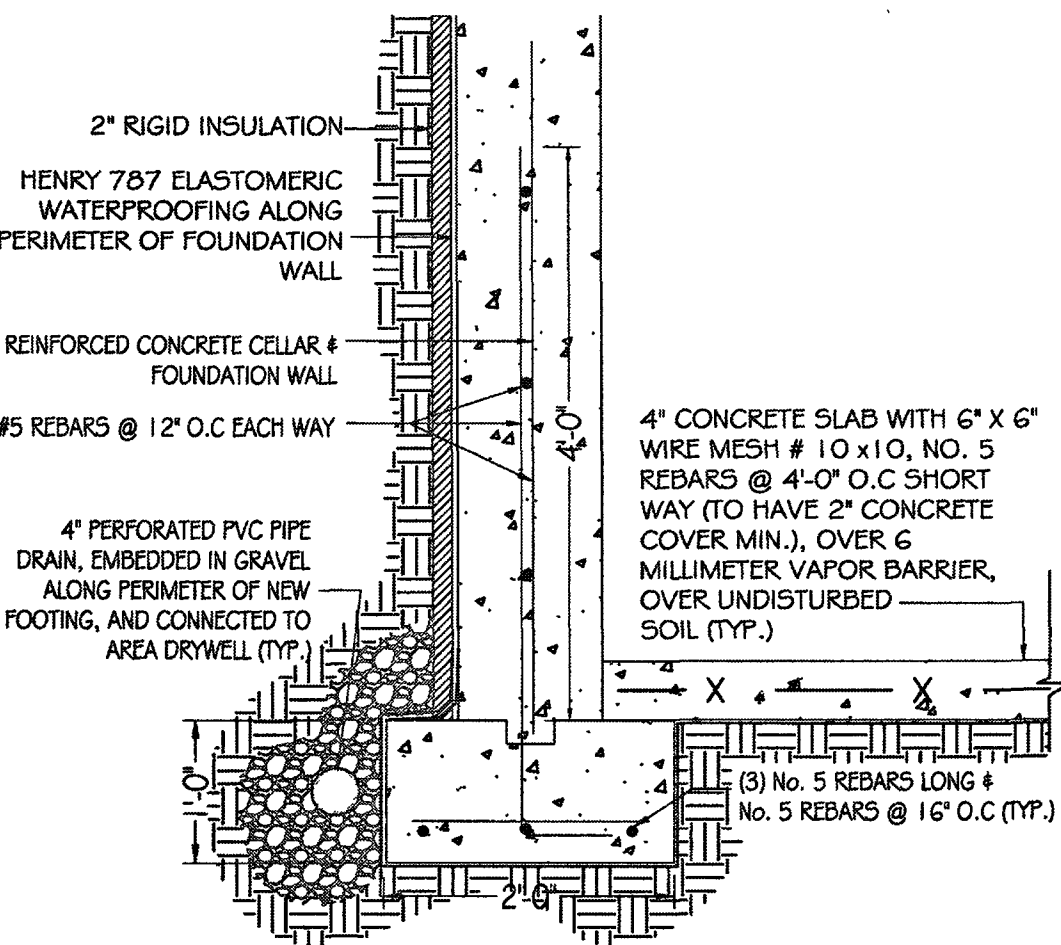
6. ALL DUCT OPENINGS UNDER AC REGISTERS TO RECEIVE DUCT TAPE ALONG PERIMETER

7. ALL HOT WATER PIPES TO BE INSULATED WITH R3 INSULATION AT CELLAR AND ATTIC LEVEL, WHEN OUTSIDE OF BUILDING ENVELOPE

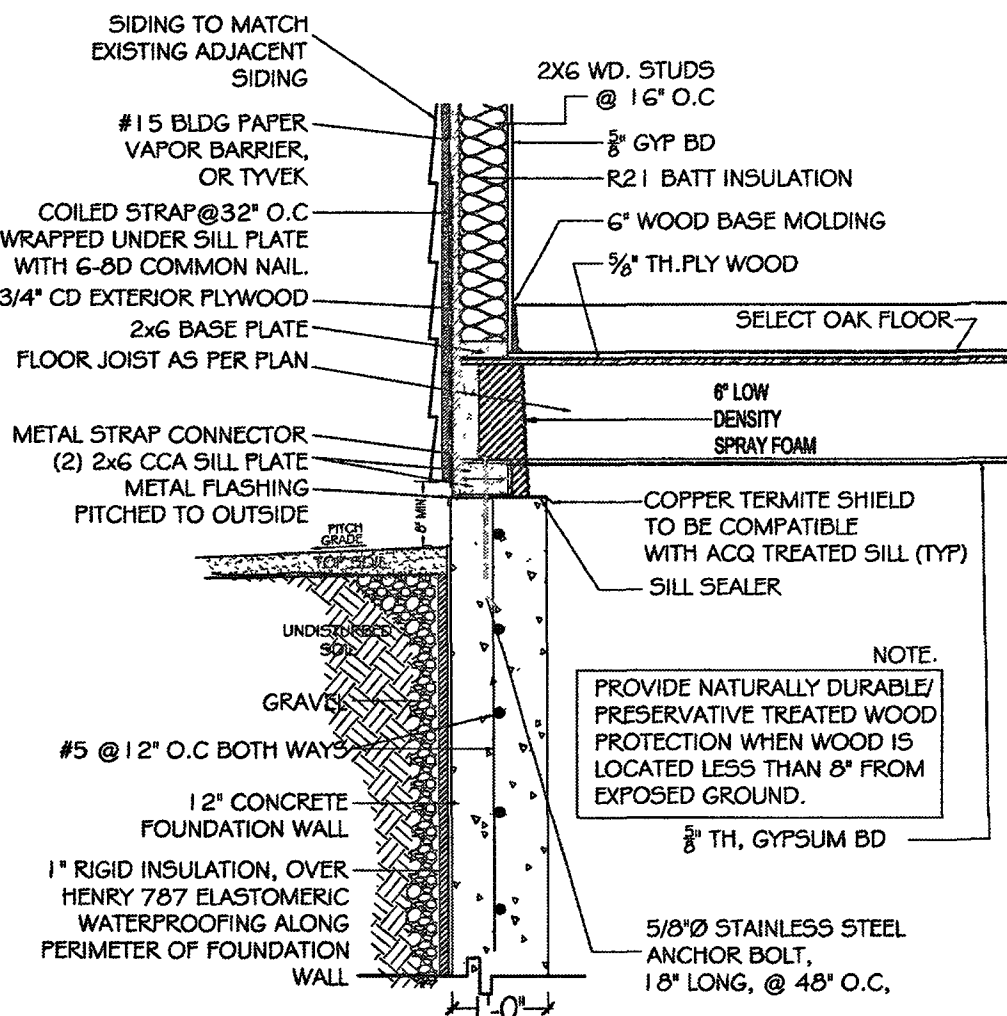
8. AT LEAST ONE BATH FAN MUST BE ENERGY STAR RATED (HARD PIPED TO EXTERIOR) AND HOOKED-UP TO A PROGRAMMABLE TIME

9. ALL EXTERIOR HOT AND COLD WATER PIPING TO BE INSULATED VIA 1/2" THICK CLOSED CELL FOAM PIPE INSULATION, TYP.

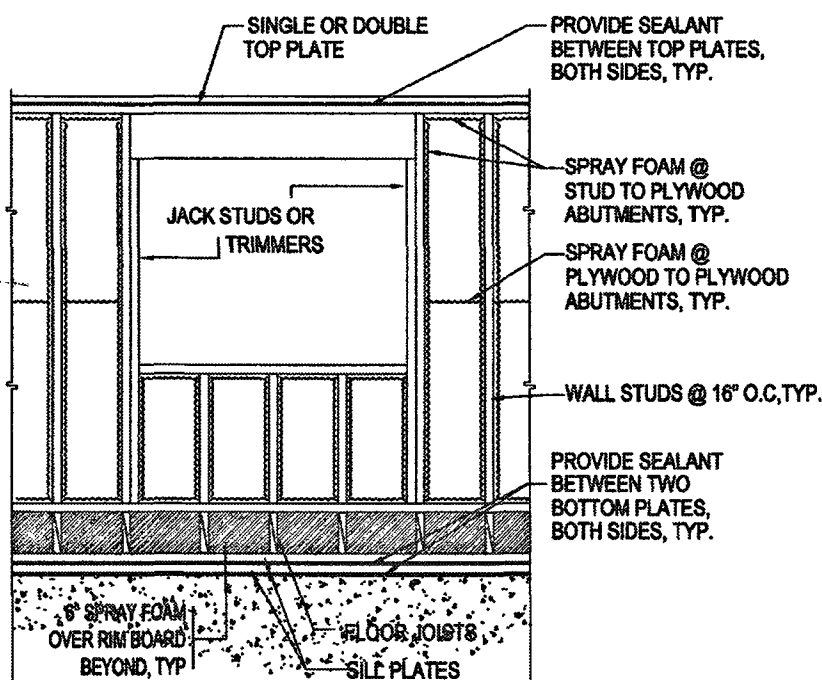
10. PROVIDE FLASH AND BATT INSULATION BETWEEN EXTERIOR STUD BAYS. SEE TYP. WALL SECTION FOR BATT INSULATION RATING



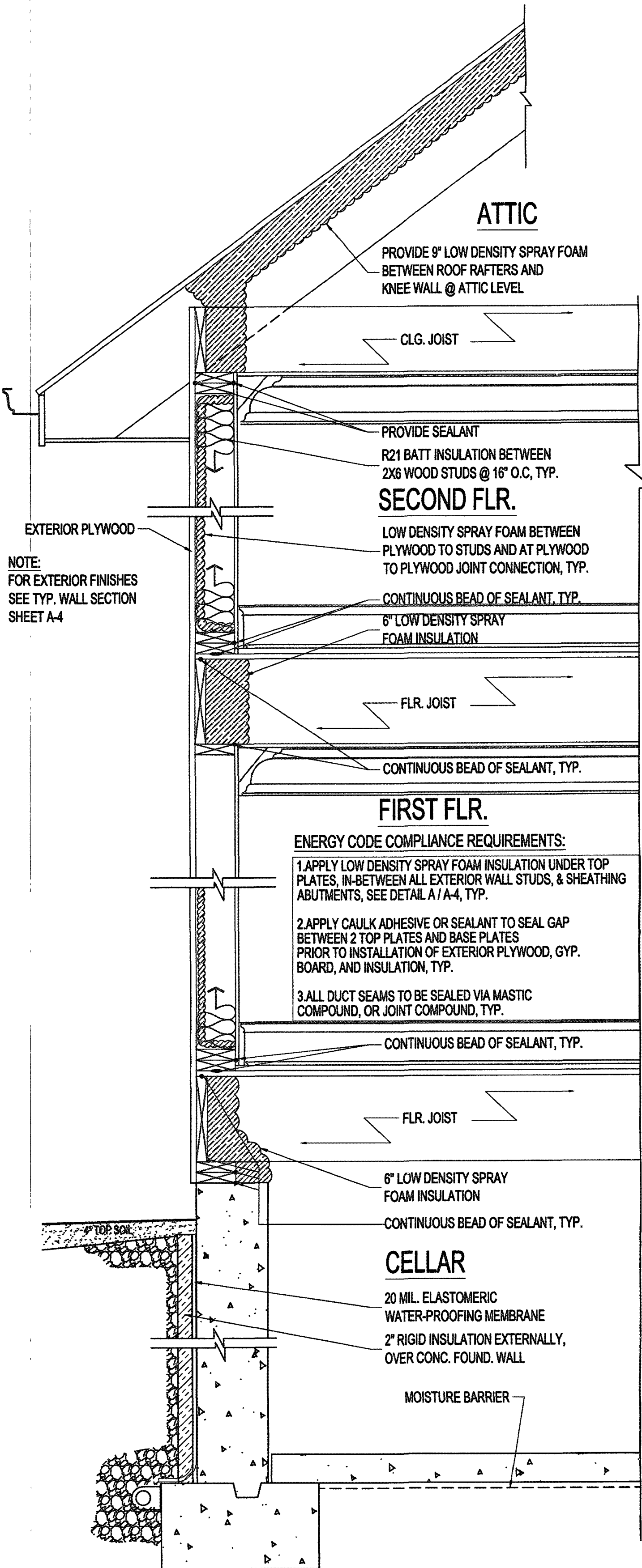
1 EXTERIOR WALL AT FOOTING
A13 SCALE: N.T.S.



2 EXTERIOR WALL AT FLOOR JOIST
A13 SCALE: N.T.S.



3 PICTURE FRAME AIR SEAL DETAIL
A13 SCALE: N.T.S.



4 TYP. AIR SEAL & INSULATION DIAGRAM
A13 SCALE: N.T.S.

Project:
Abraham Residence
31 North Clover Drive
Great Neck, NY 11021

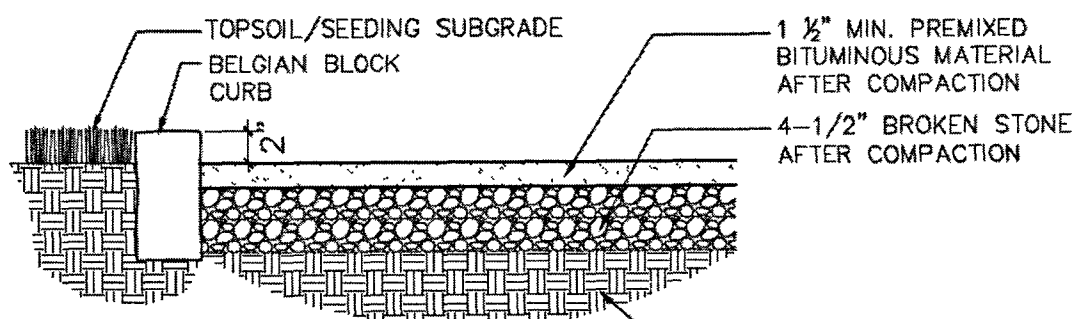
Architect:
Barbach & Associates
199 C WEST SHORE ROAD
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Tel: (516) 466-2674



REVISIONS 9/15/23
FOR PERMIT 7-7-22

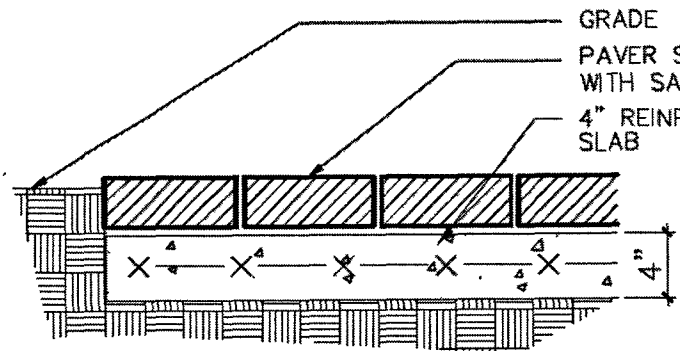
ENERGY CODE
COMPLIANCE NOTES
& TYPICAL DETAILS

A-8
CP 9



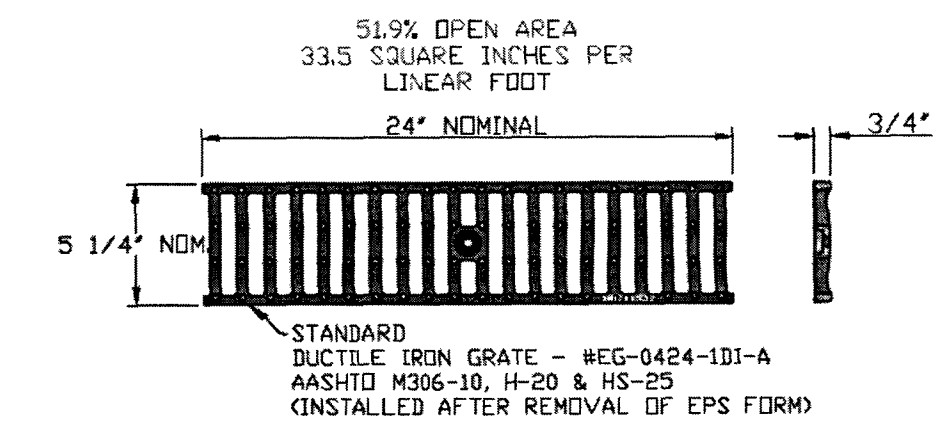
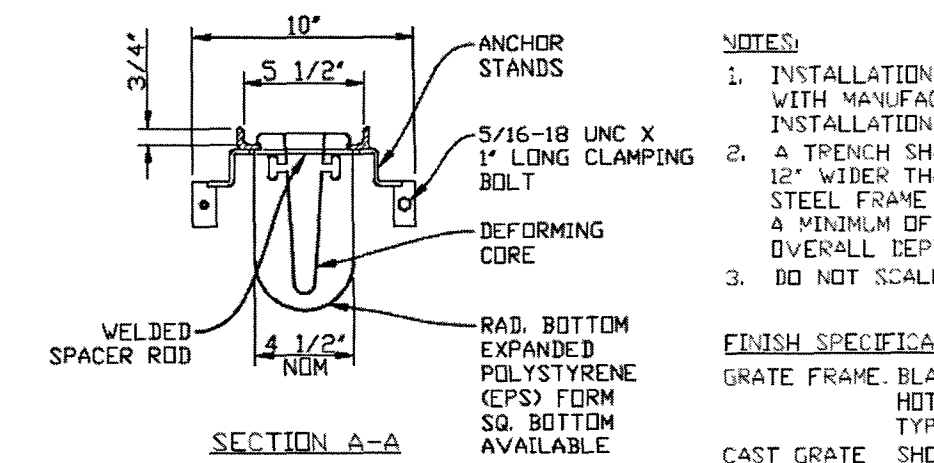
ASPHALT DETAIL

SCALE: 1" = 10'-0"



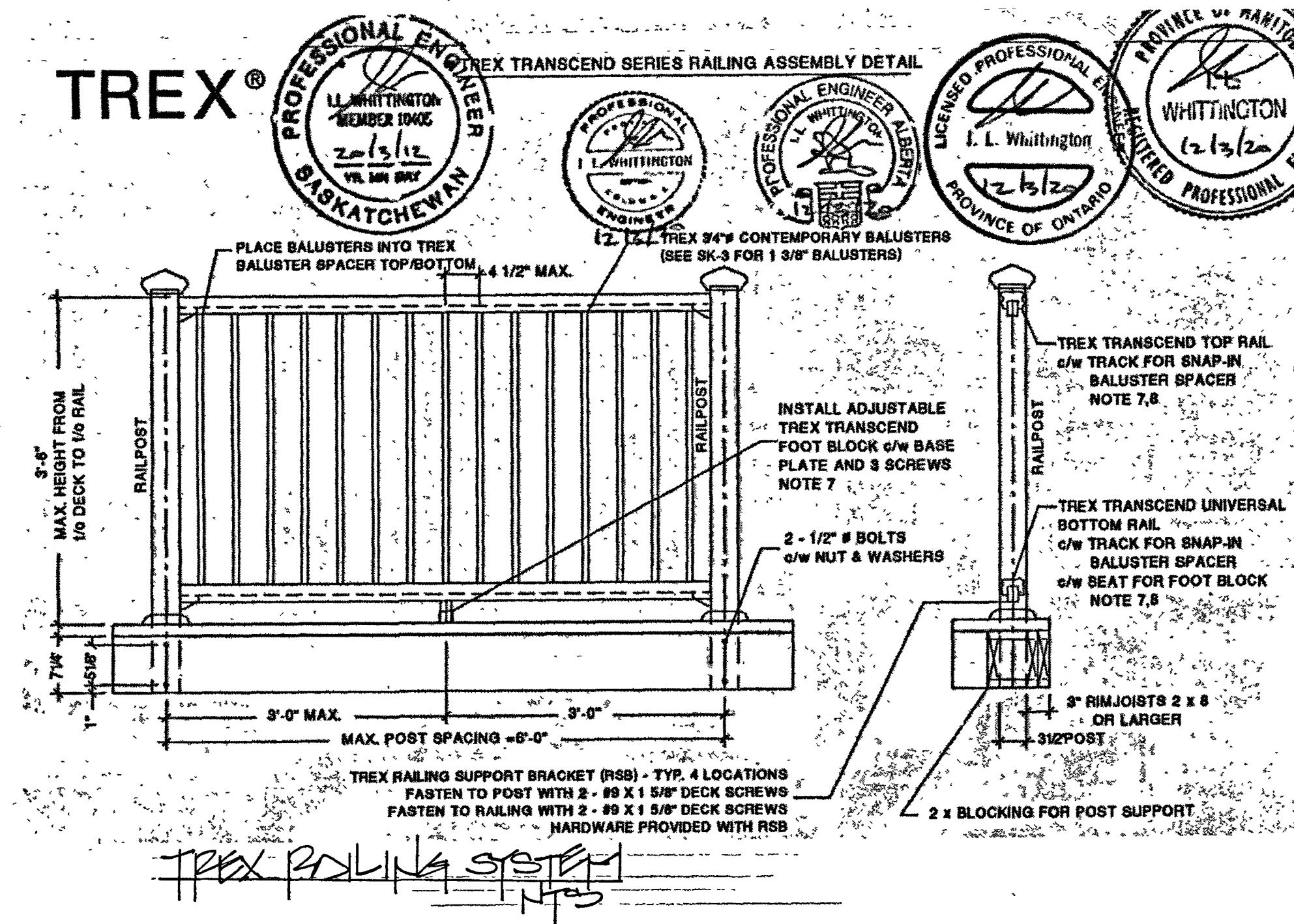
PAVER DETAIL

SCALE: 1" = 10'-0"



TRENCH DRAIN DETAILS

NTS.



RAILINGS TO BE LOCATED
MINIMUM 12\"/>

DECK #1

REPAIRS DECK ABOVE

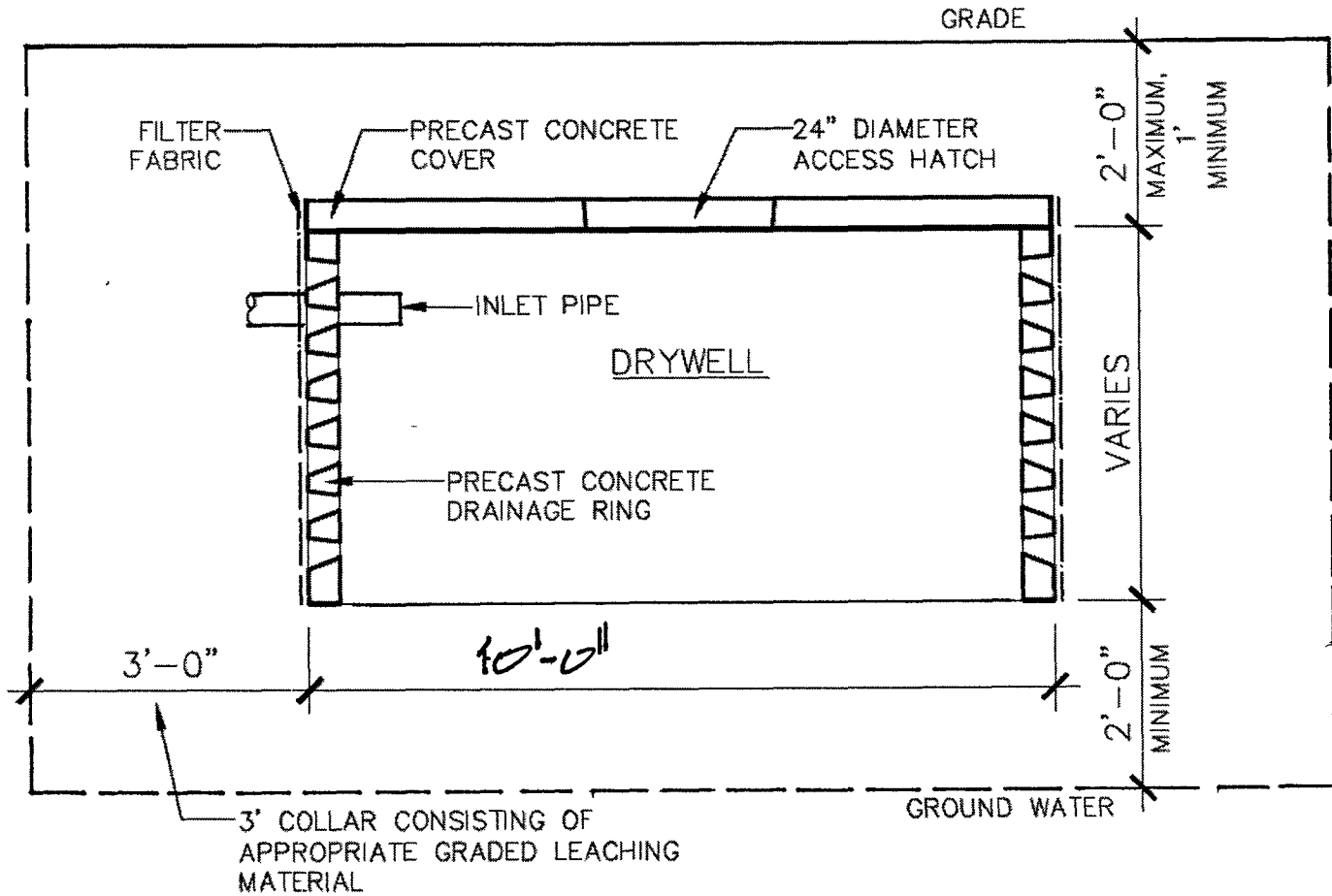
PRECAST PAVEMENT PT 12

PRECAST PAVEMENT
DRIVEWAY EXTENSION
PRECAST PAVEMENT DRIVEWAY
TRENCH DRAIN

IMPROVED AREA CALCULATIONS

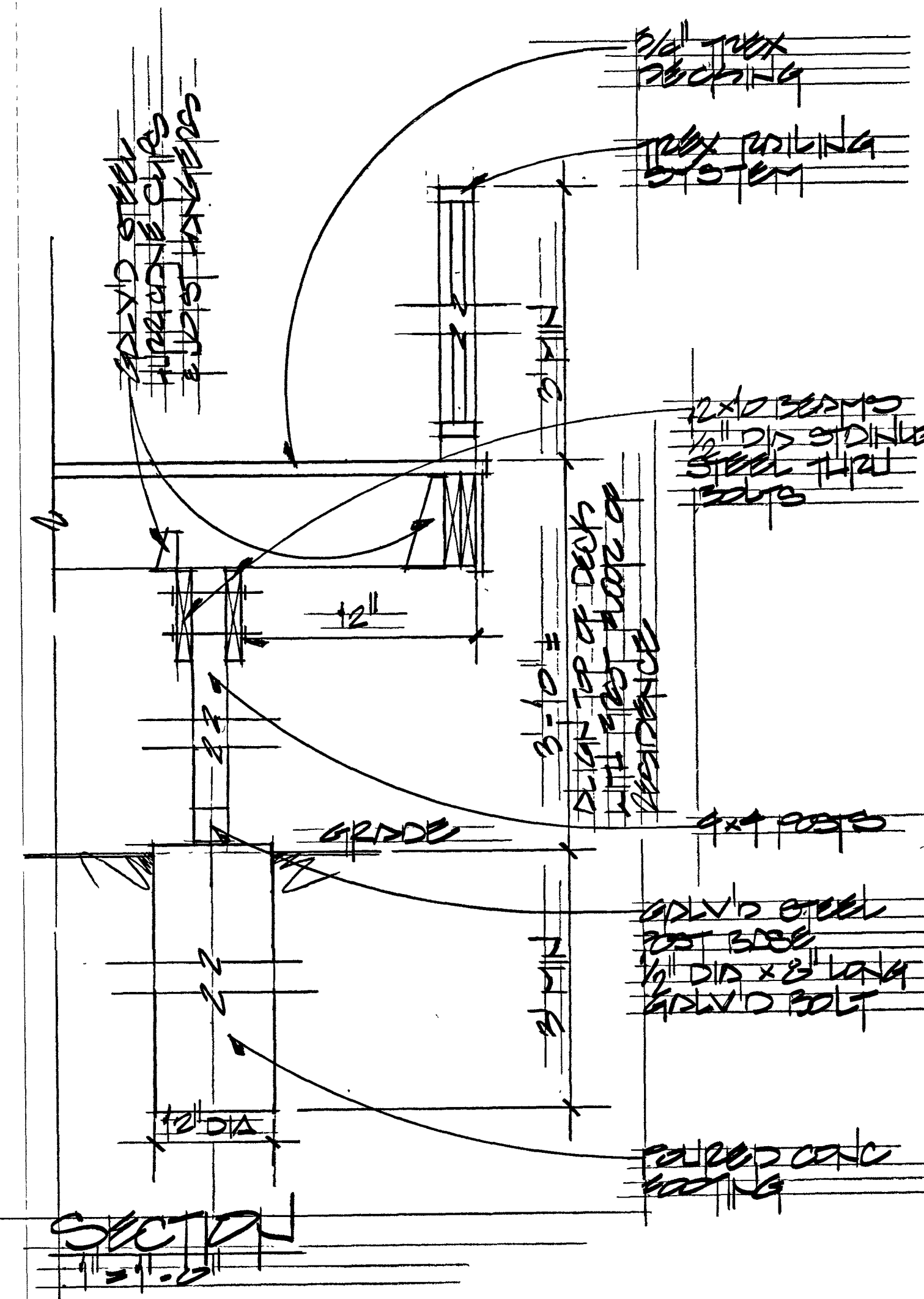
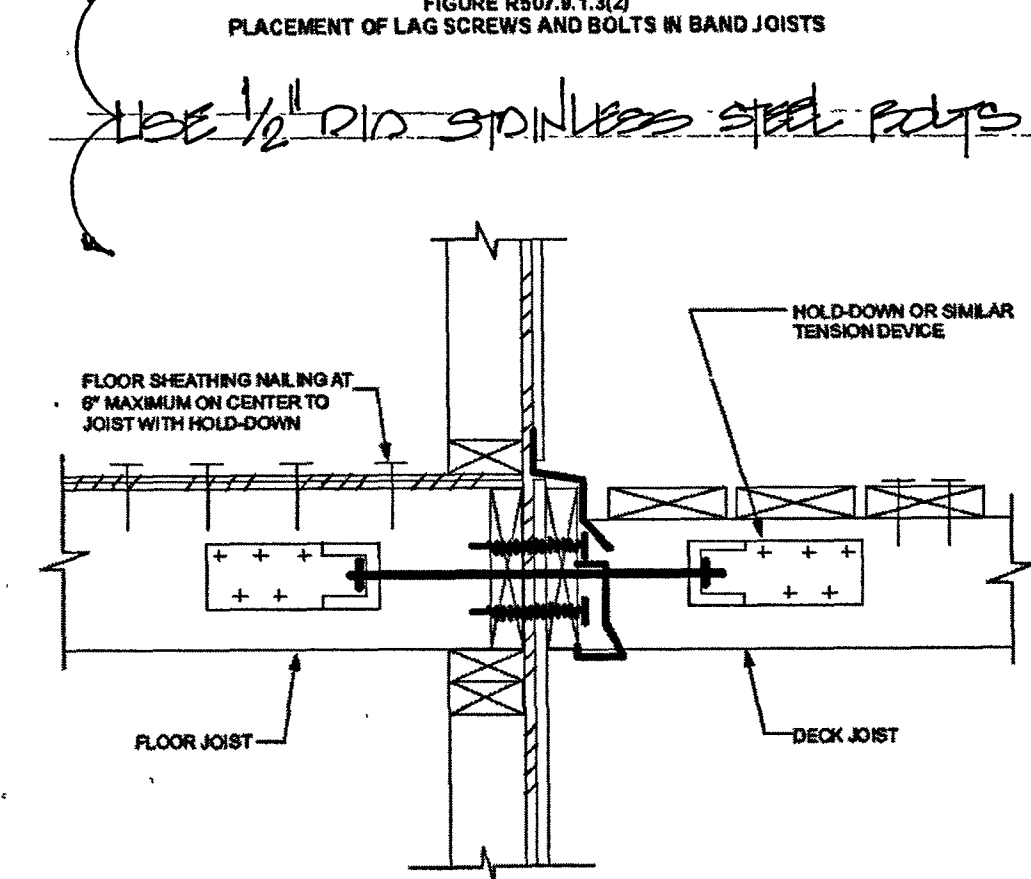
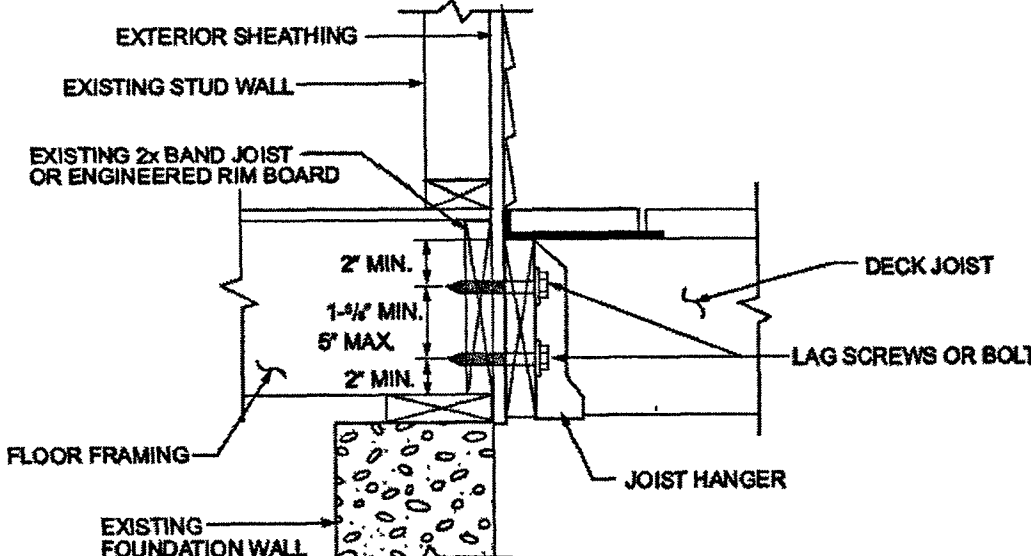
	SF	%	COMMENT
LOT AREA	12,027		
MAXIMUM LOT COVERAGE	2,044	17%	
PROPOSED LOT COVERAGE	4,579	38%	VARIANCE REQUIRED
FRONT YARD AREA	2,985		
MAX PERMITTED FRONT YARD COVERAGE	746	25%	
PROPOSED FRONT YARD COVERAGE	1,316	44%	VARIANCE REQUIRED
COVERAGE COMPONENTS			
RESIDENCE	2,349		
PORCH & WALKWAYS	347		
DRIVEWAY	969		
SUBTOTAL - FRONT YARD	1,316		
DRIVEWAY EXTENSION	334		
PATIO	580		
TOTAL	4,579		

DRAINAGE CALCULATIONS:
PATIO, PORCH, WALKWAY, DRIVEWAY
& DRIVEWAY EXTENSION = 2,230 SQ. FT.
AREA X COEFFICIENT X INCHES OF RAIN = REQUIRED STORAGE
2,230 X 1.0 X 3/12 = 558 CU. FT.
10' DIAMETER DRYWELL AT 4'-0" DEEP = 274 CU. FT.
558 / 274 = 2.04 = PROVIDE (2) 4' DEEP RINGS

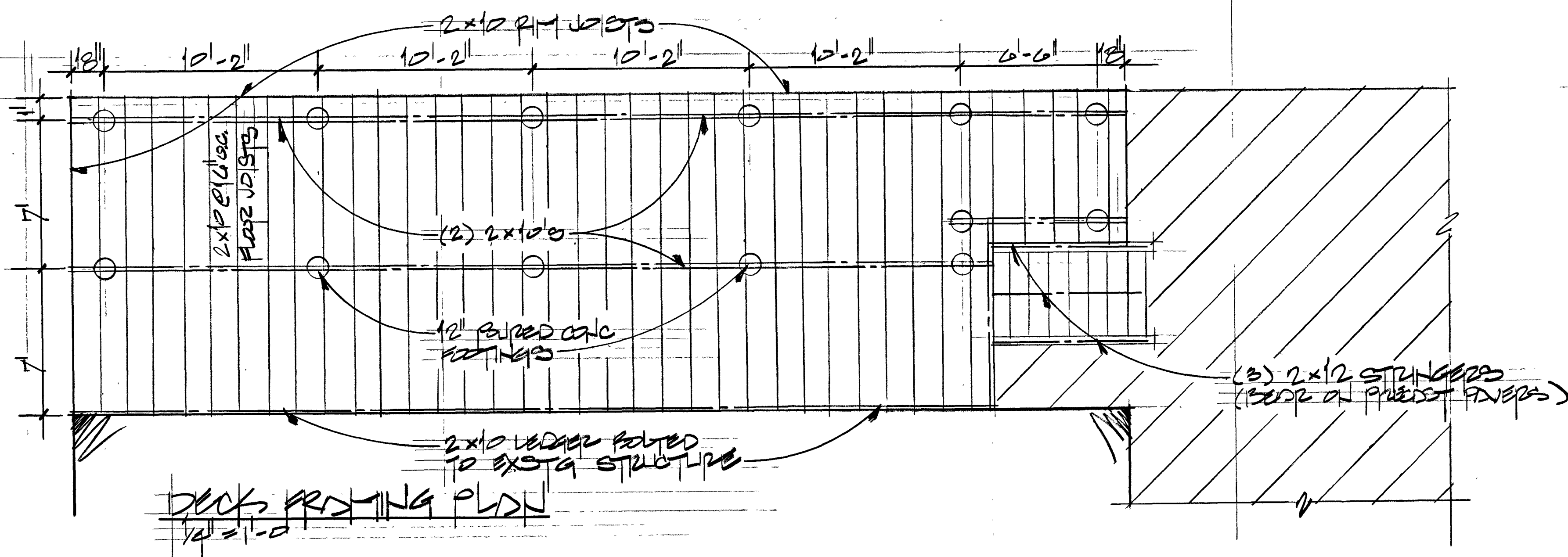


DRYWELL DETAIL

SCALE: 1/2" = 1'-0"



FRAMING NOTES
ALL JOIST SHALL BE PRELUBED
PROVIDE TO RESIST DECK
PROVIDE ABOVE STEEL SUPPORTS
CLIP JOIST HANGERS & PIER
CONNECTORS AS PER CONNECTION
DETAILS ON D
10 OPEN RISERS - PROVIDE MIN
3/4\"/>



Project
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Architect
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COVERED 9.15.23
DECK FRAMING
PLAN SECTION
& DETAILS

A.9
229

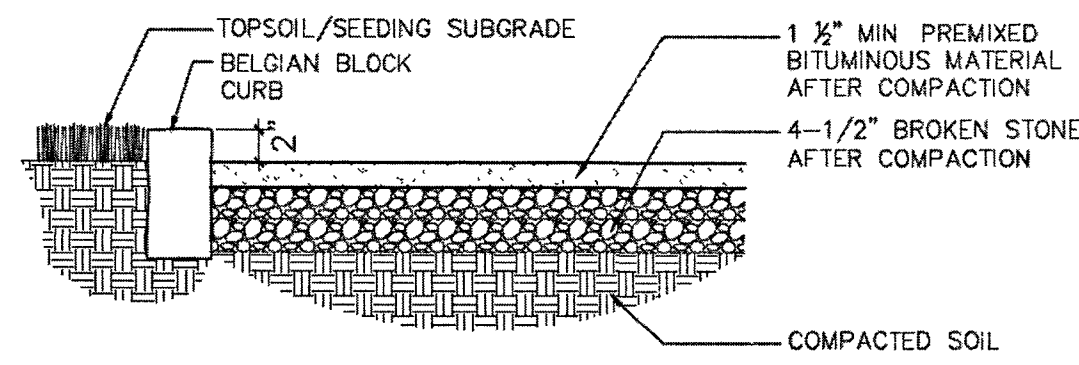
** ONE-STORY OPEN PORCH MAY PROJECT NOT MORE THAN 5' FOR A MAX WIDTH OF 9' INTO A REQ'D FRONT YARD

ALL MEMPHIS
DEPT & DISTRICT
COPIES REFER
TO DUG NO. D-9

REV STOPS 11.12.23
 REV STOPS 10.23.23
 REV STOPS 9.15.23
 REV STOPS 11.21.22
 REV STOPS 7.15.22
 REV STOPS NO FEEL 30
 COMMENTS 4.4.22
 PLANNING 4.4.22
 FOR INTERIOR DENTS
 FORMIT
 FRESH STOPS 2.7.22
 PLANNING 1.25.22
 PLANNING 1.25.22
 PLANNING 1.17.22

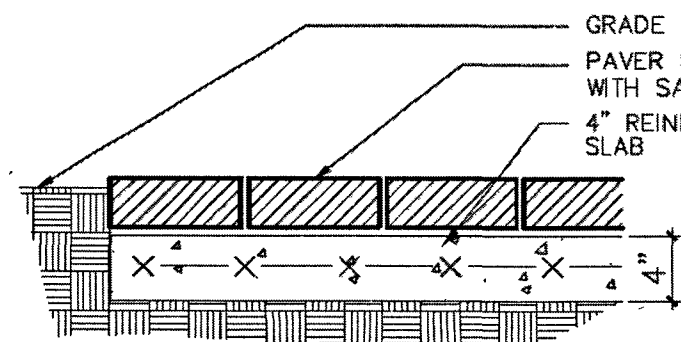
22.12.22

FIRST FLOOR
PLAN SITE
PLAN ZONING



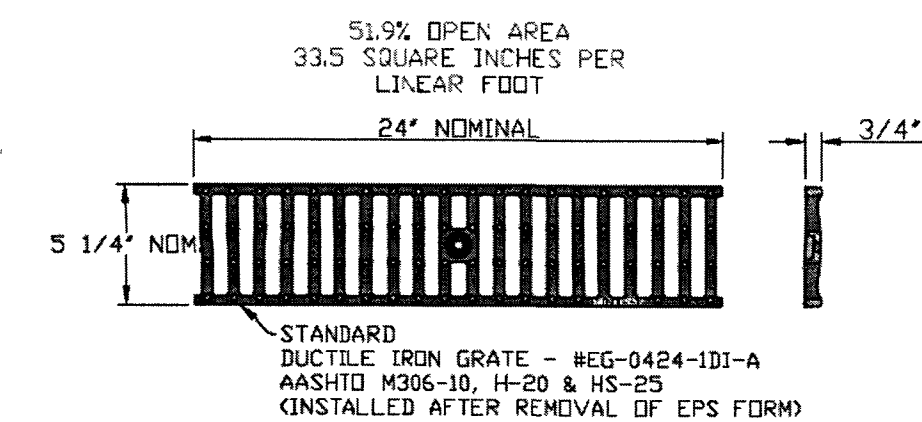
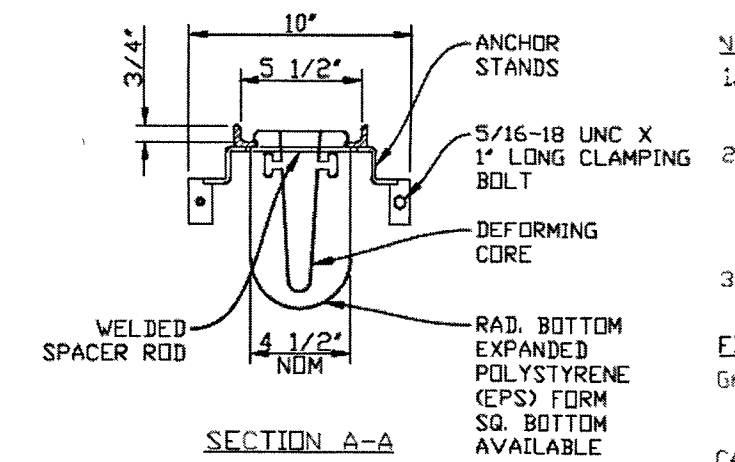
ASPHALT DETAIL

SCALE: 1" = 10'-0"



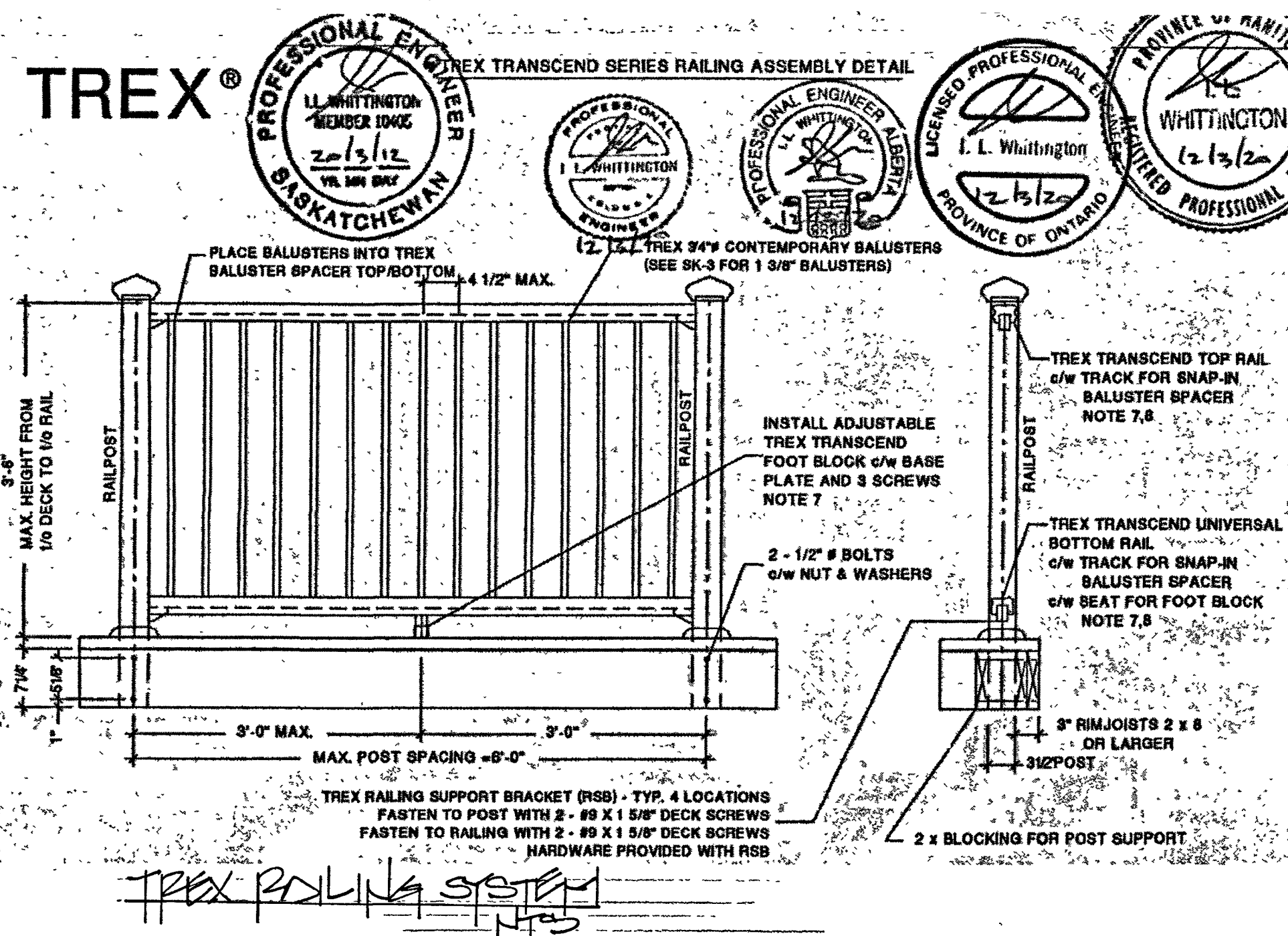
PAVER DETAIL

SCALE: 1" = 10'-0"



TRENCH DRAIN DETAILS

N.T.S.



RAILINGS TO BE LOCATED
A MINIMUM OF 10' FROM
PROPERTY LINES & STRUCTURES

DRYWELL #1

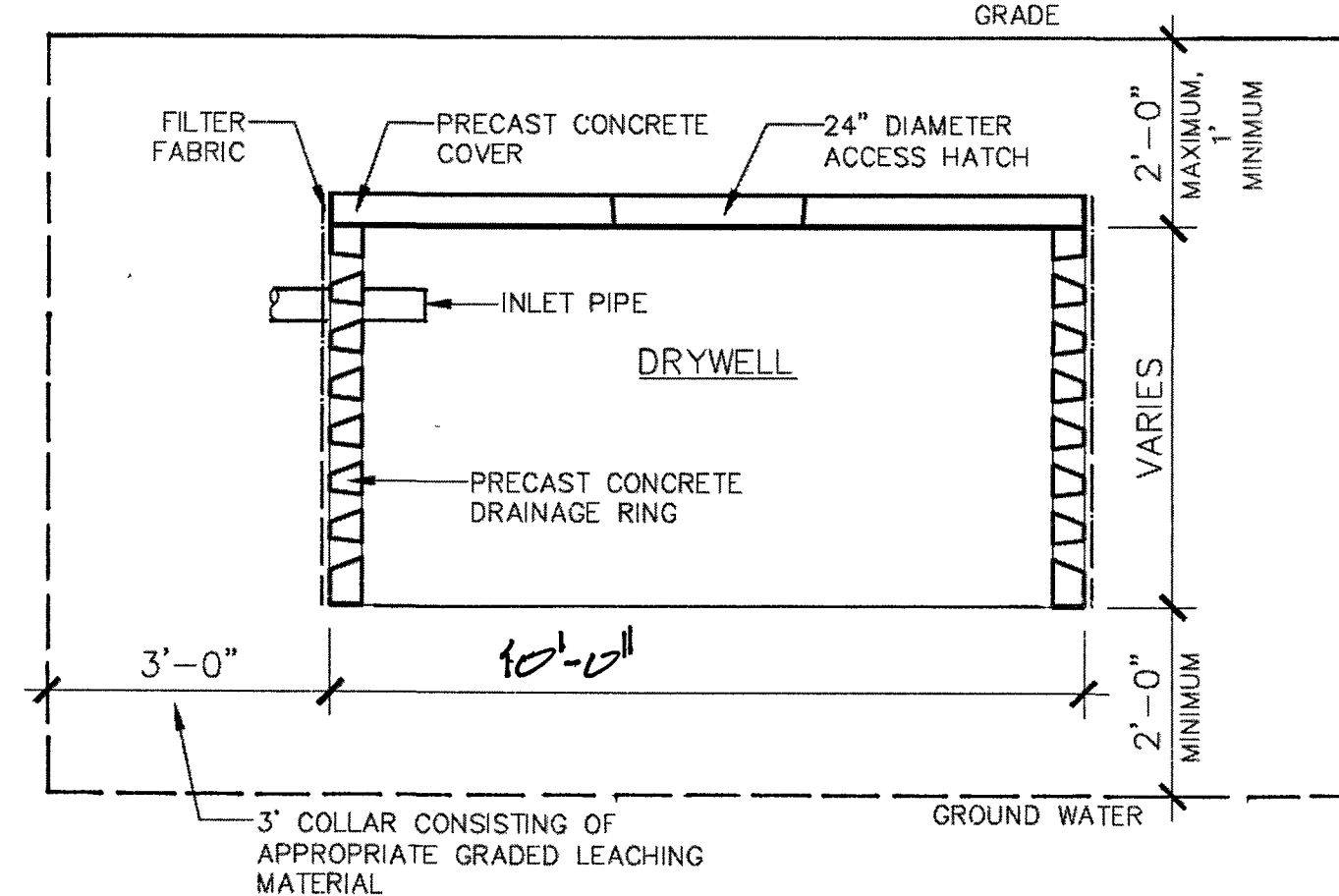
WOOD DECK ABOVE

PROPOSED PAVEMENT PORTIO
(600 SQ)

PROPOSED DRIVEWAY EXTENSION (334 SQ)
PROPOSED PAVEMENT DRIVEWAY (169 SQ)
FRONT YARD

DRAINAGE CALCULATIONS
PATIO, DECK, PORCH, WALKWAY, DRIVEWAY
& DRIVEWAY EXTENSION = 2,885 SQ FT
AREA X COEFFICIENT X INCHES OF RAIN = REQUIRED STORAGE
2,885 SQ FT X 1.0 X 3/12 = 722 SQ FT
10 FT DIAMETER DRYWELL AT 4 FT DEEP = 274 CU FT
722 / 274 = 2.6 = PROVIDE (2) 4 FT DEEP RINGS

ZONING ANALYSIS			
	SF	%	COMMENT
LOT AREA	12,027		
MAXIMUM PERMITTED BUILDING AREA	2,646	22%	
PROPOSED BUILDING AREA	2,349	20%	
AREA DIAGRAMS ON DWG NOS. A1 & A9			
FRONT YARD AREA	2,985		
MAX PERMITTED FRONT YARD COVERAGE	746	25%	
PROPOSED FRONT YARD COVERAGE	1,316	44%	VARIANCE REQUIRED
AREA DIAGRAMS ON DWG NOS. A1 & A9			
PROPOSED IMPERVIOUS COVERAGE	5,234		
MAXIMUM IMPERVIOUS COVERAGE	4,702		
	532		VARIANCE REQUIRED
REAR YARD SETBACK - TO DWELLING - NO CHANGE			
REAR YARD SETBACK (TO DECK)	PERMITTED 30' (117.43 - 100 = 17.43 X 25 = 4.35) = 34.5 FT	PROPOSED 31'	VARIANCE REQUIRED 3.5'
FRONT YARD SETBACK - PORTICO			
	PERMITTED 5' X 9'	PROPOSED 6' X 12'	VARIANCE REQUIRED 1' X 3'
ONE-STORY OPEN PORCH MAY PROJECT NOT MORE THAN 5' FOR A MAX WIDTH OF 9' INTO A REQ'D FRONT YARD			
SIDE YARD SETBACKS - TO DWELLING - NO CHANGE			
AC UNITS & EMERGENCY GENERATOR			
	SIDE YARD SETBACKS - MINIMUM 15 FT		



DRYWELL DETAIL

SCALE: 1/2" = 1'-0"

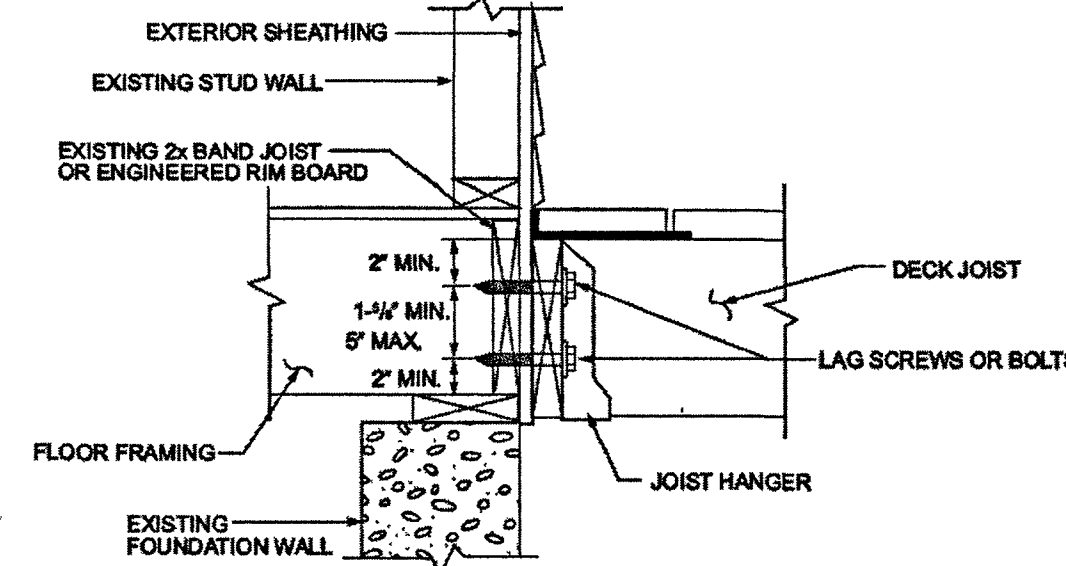


FIGURE R507.8.1(3/2)
PLACEMENT OF LAG SCREWS AND BOLTS IN BAND JOISTS

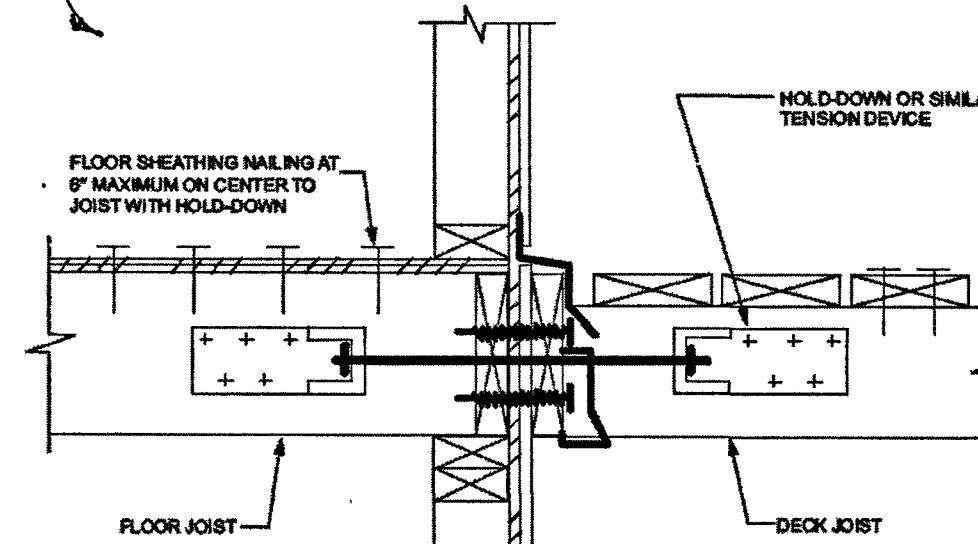
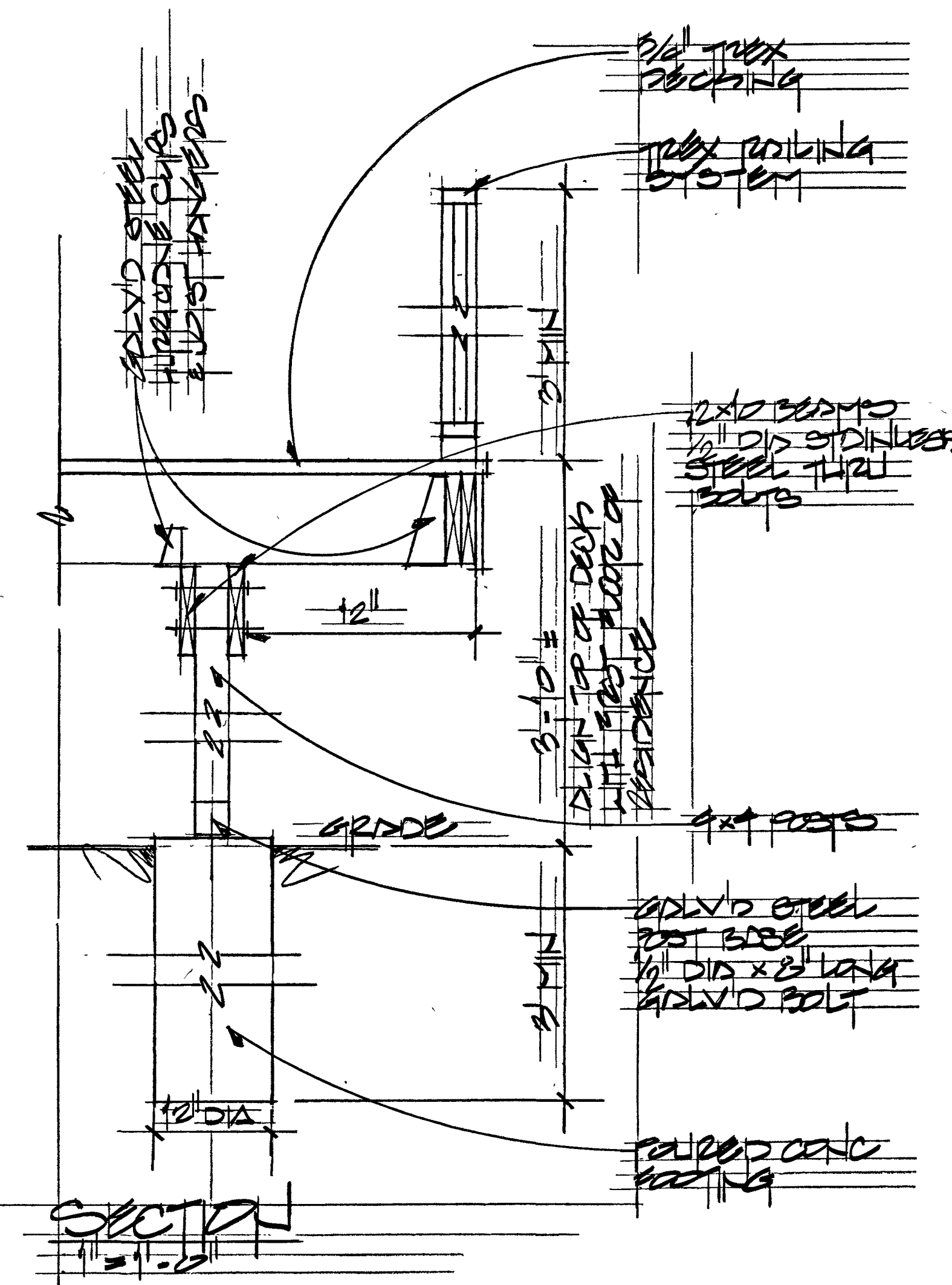
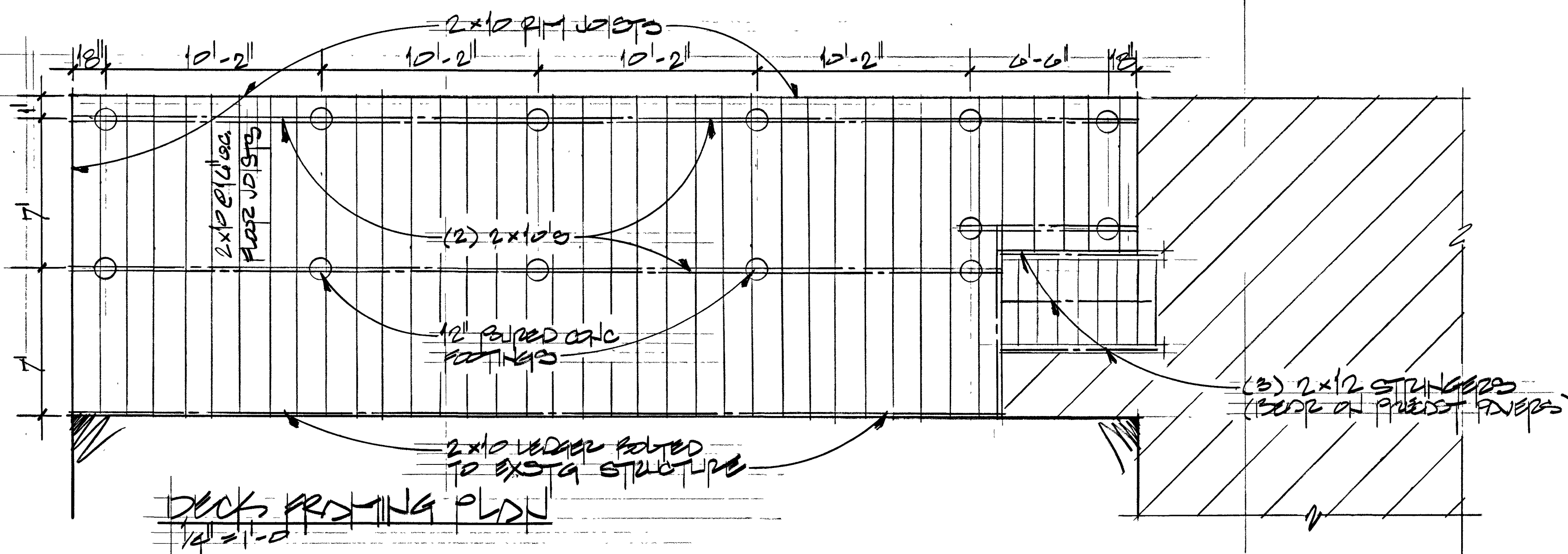


FIGURE R507.8.2(1)
DECK ATTACHMENT FOR LATERAL LOADS



REMARKS
ALL WOOD SHALL BE PRESSURE
TREATED - TO RESIST DECAY
PROVIDE ADJACENT STEEL WELDED
CLIPS TO STAY AWAY FROM
CONNECTORS TO PREVENT CORROSION
DETAILS ON D:
12\"/>



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Architect
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Great Neck, NY 11024
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REVISIONS 11.11.23
REVISIONS 10.25.23
REVISIONS 9.15.23

DECK FRAMING
PLAN SECTION
& DETAILS

A.9
OF 9

